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PRELIMINARY SET

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Revision Date and Outcome Record

Revision Date	Outcome
DRC - July 25, 2014	Approved
BOA (Preliminary) - September 25, 2014	Deferred
BOA (Preliminary) - October 9, 2014	Approved
BOA (Mediterranean Bonuses) - November 7, 2014	Approved

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FLORIDA'S LAW FIRM FOR BUSINESS

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September 2, 2015

Mr. Ramon Trias
Planning and Zoning Director
City of Coral Gables
427 Biltmore Way
2nd Floor
Coral Gables, FL 33134

Re: Villa Valencia / 501, 515 and 525 Valencia Avenue / Planning and Zoning Board Application / Amended Statement of Use and Justification

Dear Mr. Trias:

On behalf of Valencia 34 Development, LLC (the "Applicant"), we respectfully submit this amended statement of use and justification in connection with the enclosed Planning and Zoning Board Application (the "Application"), for review of Villa Valencia, a luxury multi-family residential apartment project (the "Project") to be located at 501, 515 and 525 Valencia Avenue; south of Biltmore Way, between Segovia Street and Hernando Street (the "Property"). The Property is just over one acre in size (45,229 square feet) and will consist of 103 luxury rental apartment units with upscale amenities, large open and green spaces and lush landscaped areas around the Project that will enhance the surrounding neighborhood and be consistent with the City of Coral Gables' (the "City") vision for this area.

The Property is located in an area with a mix of high intensity commercial and high and low density residential developments with varying land use and zoning designations. The location between the large office and apartment buildings along Biltmore Way and being only one block west of the Central Business District (the "CBD"), makes this Project and area suitable for transitional multi-family development projects, like Villa Valencia, which will benefit from being so close to the CBD and pedestrian and transit corridors. The Property is currently zoned Multi-Family Special Area District, with site specific zoning regulations, and has an underlying land use designation of Residential Multi-Family Medium. Amendments are being proposed to the City's Comprehensive Plan and Zoning Code which density will allow the Applicant to create a beautifully designed, Mediterranean inspired building that will provide increased public realm improvements and an enhanced design.

This analysis will provide the justifications to show how the Project meets or exceeds the requirements necessary for the following approvals:

1. Comprehensive Plan Text Amendment, a copy of which is attached as **Exhibit "A";**

2. Zoning Code Text Amendment to create a new Mediterranean Design Transitional Overlay District ("MEDTOD"), a copy of which is attached as **Exhibit "B"**; and

3. MEDTOD conditional use site plan approval.

As part of the requested Comprehensive Plan and Zoning Code text amendments, a new overlay district, the MEDTOD will be created which will allow increases in density and FAR in exchange for an enhanced design, public realm improvements and a reduction of building mass. The MEDTOD will provide greater opportunity for construction of high quality developments through more flexible guidelines to inspire superior design and sound planning principals.

Benefits of the Proposed Development

Villa Valencia, a 12 story, 103 unit multi-family residential development, furthers the goals, objectives and policies of the City's Comprehensive Plan by providing an urban infill redevelopment of a high quality residential use that will provide much needed redevelopment activity to this area of the City. Located only one block from the CBD, the City's main employment and commercial center, Villa Valencia will energize this area and provide accommodations for those residents looking for an exceptionally designed development with pedestrian connections to the CBD and public transportation facilities.

The Project is perfectly sited along the north side of Valencia Avenue, between Hernando Street and Segovia Street, as it will effectuate a greatly needed transition between the high rise commercial and residential buildings along Biltmore Way and those a block to the east within the CBD, and those less intense residential uses to the south. This part of the City is already characterized by fairly intensive development and more upscale projects and high quality residential uses, such as Villa Valencia, will benefit the established residential neighbors to the south by providing a reasonable transition from the taller, more intense buildings to the north.

Villa Valencia is designed to activate all street frontages and create unique ground level residential uses. Much of the building's street frontages will be lined with residential units containing front yard gardens, which are set back from the streets to soften the impact of the Project and create a pedestrian friendly feel for the neighboring area. The Project also has an internal service and receiving area so none of the building service functions will be viewed by the general public. The Project will also comply with the City's Mediterranean architectural requirements helping to assure that the building will have a positive aesthetic effect on the neighborhood.

The Property is currently zoned Multi-Family Special Area (MFSA) and has a land use classification of Residential Multi-Family Medium Density. In order to develop Villa Valencia as proposed, the Applicant is requesting to amend the text of the Residential Multi-Family Medium Density category so as to permit an increase of permitted density to 100 units/acre and a tower element of up to 120 feet. The Residential Multi-Family Medium Density land use designation allows a building height of up to 97 feet with architectural incentives. However,

under this zoning the Property is also subject to Site Specific criteria per Appendix A of the Zoning Code which permits a maximum building height of 150 feet. The proposed text amendment will incentivize a decrease in the maximum permitted height by permitting increased density.

As mentioned above, the proposed text amendment will also affect permitted density. The current classification of Multi-Family Medium Density only permits up to 50 dwelling units per acre with architectural incentives. The proposed Comprehensive Plan text amendment and Mediterranean Design Transitional Overlay District (MEDTOD) regulations, will provide for an increased density of 100 units/acre and an increased F.A.R. of 3.0 floor area in exchange for enhanced design, public realm improvements, and limiting the maximum permitted height of the building to only 25% of the width of the property. Villa Valencia is designed in accordance with these additional MEDTOD requirements, making it a superior project with signature design elements that give back to the community. Furthermore, it is important to note that the City's Mixed Use District regulations permit a maximum density of 125 units/acre in both CBD and Mixed Use Overlay Districts. For the purposes of redevelopment, it has become apparent that a density level of around 100 units/acre is necessary to incentivize the desired type of development. Similarly, the MFSA regulations presently permit a maximum F.A.R. of 2.0 and require Mediterranean design but do not permit the usual addition .5 floor area bonus provided in every other multi-family and commercial zoning district in the City. In order to incentivize redevelopment and particular architectural features such as a lower element, an increased F.A.R. of 3.0, which can be achieved in many other part of the City, is necessary.

The amendments proposed and the inclusion of the MEDTOD will provide the Applicant the opportunity to create a signature residential project that truly benefits the residents of the City and which will provide a true transition between the larger buildings on Biltmore Way and the lower rise apartments and single family homes to the South. Villa Valencia will create a unique development in an area of the City with access to public transportation and within walking distance to employment and entertainment centers, which meets the goals, objectives and policies of the City's Comprehensive Plan.

Proposed Comprehensive Plan Text Amendment

The Applicant is proposing modifications to the City's Comprehensive Plan through text amendments that would regulate the Project's development. The Comprehensive Plan text amendments will request amendments to Table FLU-1, the Residential Land Use Table, which includes density/intensity increases to permit a unique and signature development that is consistent with the goals, objectives and policies of the Comprehensive Plan. The proposed text amendments are attached as **Exhibit "A"**.

Pursuant to Section 3-1506 of the City's Zoning Code, Villa Valencia satisfies the standards for Comprehensive Plan Text and Map Amendments as follows:

1. **Villa Valencia specifically advances several objectives and policies of the Comprehensive Plan**. See, Comprehensive Plan Analysis, attached as **Exhibit "C"**.

2. **Villa Valencia is internally consistent with the Comprehensive Plan** as further described below.

3. **Villa Valencia will improve the level of service of public infrastructure around the Project.** Based on the Concurrency Impact Statement submitted, the Project meets and/or exceeds the level of service and satisfies concurrency. Additionally, the Project is designed to be pedestrian friendly and encourages guests, visitors and residents to leave their automobiles behind and walk or take public transit to and from the Project. Being located only a block west of the CBD, Villa Valencia, as an infill development, will bring an increase of density and new infrastructure to this area and connect the Project to transit corridors such as Biltmore Way and employment and commercial centers. Please also note that the Project shall be installing all utilities underground

4. **Villa Valencia will not have any adverse effect on environmental resources**. In fact, by the mere proximity of Villa Valencia to the CBD and transit corridors, and by the beautiful pedestrian corridors and sidewalks it will create around the Property, the Project will encourage its residents to walk instead of drive, saving valuable resources.

5. **Villa Valencia is a luxury multi-family rental development,** which will provide the City of Coral Gables with much needed rental accommodations in close proximity to services, employment and entertainment. The Project will create a connection to the CBD and opportunities for residents to live close to work without the need for daily automobile use.

In order to create Villa Valencia, with its expansive sidewalks, large open spaces and ground level residential units that open out to garden terraces, the Applicant is requesting a land use text amendment to the Residential Multi-Family Medium category. These amendments will allow more flexibility in density and intensity in order to create this exceptional Project.

The proposed amendments seek to encourage redevelopment of the north side of Valencia Avenue, east of Salzedo Street, in a rational manner consistent with the City's vision for this area. Additionally, the amendments are consistent with the existing "as built" environment. The existing as built area in which this Property is located makes the proposed greater height and density of the Project compatible with development which is actually occurring or has already occurred in the vicinity. For example, to the north of the Property is land with a future land use designation of Commercial High-Rise Intensity. This land, which lies along Biltmore Way is the site of 550 Biltmore Way, a 15 story commercial building. To the east of the Property across Hernando Street is 441 Valencia Avenue which is 13 stories high and to the west of the Property across Segovia Street is land with a future land use designation of Residential Multi-family High Density, which is the site of 600 Biltmore Way, a 13 story residential building.

The adoption of the proposed text amendments to the Comprehensive Plan and Zoning Code, will allow the Applicant to design a project which achieves the goals of an appropriate physical, visual, aesthetic and functional transition between the very tall and intense development along Biltmore Way and the less intense development to the south of the subject Property. Without the land use text changes, and the addition of the MEDTOD, the development would likely never be redeveloped and would certainly not contain the added public amenities including the open spaces and plazas, the generous setbacks from the streets and the lush landscaping that surrounds the Property.

Proposed Zoning Code Amendment

The Applicant is proposing a zoning code text amendment that would create a new section entitled "Mediterranean Design Transitional Overlay District" (MEDTOD) that would be incorporated into Appendix D of the Zoning Code and permitted as a conditional use in the MFSA District. A copy of the proposed MEDTOD amendment is attached as **Exhibit "B"**.

The purpose of the amendment is to create an alternate development regulation in the Multi-Family Special Area (MFSA) zoning district for properties which have a Multi-Family Medium Density Future Land Use designation and meet certain additional criteria. The broader purpose of the amendment is to accommodate higher density multi-family housing in appropriate areas which have access to public transportation and where a transitional building type is needed between lower density residential development and high intensity commercial and residential development. The MEDTOD will require higher standards of architectural design, massing, materials, and building form than the current design standards in the MFSA zoning district. In exchange for flexibility on density and floor area limitations, the MEDTOD overlay will also provide greater requirements for street level public realm improvement and pedestrian amenities.

Standards for Zoning Text Amendments

Pursuant to Section 3-1405, the Application satisfies the standards for review of text amendments as follows:

1. Promotes the public health, safety and welfare.

One of the stated purposes of the existing MFSA zoning district is to "accommodate various forms of Multi-Family housing to meet the housing needs of a diverse community, while *insuring that there is a transition to single family neighborhoods* [emphasis added] which protects the integrity of those neighborhoods". However, even though the MFSA zoning regulations have been in place for ten (10) years, there has been an obvious lack of redevelopment on the north side of Valencia Avenue. As a result, there is no transition to the lower density neighborhoods to the South. This Zoning Code text amendment will create the incentives and additional regulations to facilitate development which will serve as a proper

transition between the high density buildings along Biltmore Way and much lower density smaller residential buildings to the south. This will promote the public health, safety and welfare.

2. Does not permit uses the Comprehensive Plan prohibits in the area affected by the district boundary change or text amendment.

The Future Land Use Map designation for the lots on the north side of this section of Valencia Avenue is Residential Multi-Family Medium Density. This future land use map designation already allows multi-family residential uses. Nothing in the proposed Zoning Code text amendment would add allowable uses that are not consistent with the Comprehensive Plan.

3. Does not allow density or intensities in excess of the densities and intensities which are permitted of the future land use category of the affected property.

As noted, the Future Land Use Map designation on the lots on the north side of Valencia Avenue is Residential Multi-Family Medium Density which allows buildings up to 97 feet and a density up to 50 units per acre. In order to create the type of creative development that will benefit the City and adequately transition to less intense uses, additional density is needed. The additional density will allow the Project to be designed with signature features, pedestrian amenities and large setbacks creating first floor residential units that open out into ground floor gardens setback from the streets. The incentives created by the MEDTOD and the Comprehensive Plan amendments will provide the much needed bonus, but will contain stringent regulations to ensure adequate protections are in place for a seamless and responsible transition between the high intensity commercial development and the less intense residential development. The Applicant's proposed Comprehensive Plan Future Land Use Map and text amendments are on a parallel track and consistent with this Zoning Code text amendment.

4. Will not cause a decline in a level of service for public infrastructure which is the subject of a concurrency requirement to a level of service which is less than the minimum requirements of the Comprehensive Plan.

A concurrency analysis indicating compliance with the concurrency levels of service in the Comprehensive Plan is submitted with this application.

5. Does not directly conflict with an objective or policy of the Comprehensive Plan.

The MEDTOD will provide additional density along and near transit corridors and multimodal stations and will encourage infill redevelopment project which will discourage urban sprawl and encourage reuse of underutilized parcels. These projects, such as Villa Valencia, will support walking, bicycling and public transit use. Villa Valencia promotes sound, aesthetically pleasing housing which is designed to ensure the preservation of the unique character of the City's existing neighborhoods and which is compatible with surrounding areas.

Zoning Text Amendment Justification

The stated purpose of the MFSA district is to accommodate various forms of multifamily housing while ensuring a transition to single family neighborhoods. However, since the original adoption of the MFSA, there has been a lack of redevelopment along Valencia Avenue, between LeJeune Road and Anderson Road, west of the CBD. In fact, old and non-descript small apartment buildings on the north side of Valencia Avenue immediately abut buildings which are between 12 and 15 stories in height, creating a very poor transition area between the taller buildings on Biltmore Way and the smaller residential uses heading south from Valencia Avenue. The intent of the MFSA, to foster the diversity of multi-family housing, is not being met.

The proposed amendments regarding FAR, height and density are limited to parcels with a Multi-Family Medium Density future land use designation and MFSA zoning on the north side of the 400 and 500 blocks of Valencia Avenue, which are closer to the more intensely developed areas of Biltmore Way, LeJeune Road and Miracle Mile. Additionally, the adoption of the MEDTOD zoning overlay will result in several benefits to the City, including assuring that projects which are built in specific transitional areas provide an attractive visual link between the more intense contemporary buildings to the north and the more traditional low-rise residential neighborhoods to the south. Villa Valencia will be this transitional project, designed to respect and complement both uses.

The MEDTOD regulations will require adherence to the Coral Gables Mediterranean Architecture design elements including building façades, building materials, building massing, design details, and special attention to the activation of the public realm.

As noted in the discussion above, one of the purposes of this Application is to allow a building which can act as a transition between the very tall buildings along Biltmore Way and the smaller residential buildings to the south. Another special design feature of this building is that, even though it is designed up to a 12 story height, the tallest section of the building will be limited to no more than 25 percent of the street frontage so that it will not create a monolithic appearance. The modest 12 story portion of the building will be centered on the Property. The profile of the building is so articulated and stepped back in many areas that it has a visually interesting and beneficial effect on nearby uses, buildings and structures. The building is designed to “engage the street” with inviting landscaping and significantly set back residential units along its east and southeast facades, which will create a human scale residential feel along these streets. The building will not crowd the street leaving plenty of room for courtyards and landscaping.

In summary, the various approvals being requested in connection with the Villa Valencia project are made with the intent of developing a high quality Mediterranean style residential building which addresses the challenges of this relatively small but important transitional area which is in very close proximity to the Central Business District. We respectfully submit that this Project achieves the City goals of a responsible transition between high intensity uses and the

less intense residential neighborhoods to the south and of increasing the variety of housing options available to City residents. Accordingly, we respectfully request your favorable consideration of this submittal and look forward to continuing to work with the City on this promising Project.

Sincerely,

p.p. Lauren L. Kahn

Mario Garcia-Serra

Enclosures

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EXHIBIT "A"

CORAL GABLES PROPOSED CODE CHANGES

COMPREHENSIVE PLAN

Table FLU-1. Residential Land Use

	Classification	Description	Density/Intensity	Height
EXISTING	Multi-Family Medium Density	Multi-family residential of medium height and density	Maximum 40 units/acre, or 50 units/acre with architectural incentives per the Zoning Code	Up to 70' maximum (no limitation on floors), or 97' maximum (with a maximum 2 additional floors) with architectural incentives per the Zoning Code
PROPOSED			Maximum 40 units/acre, or Maximum 50units/acre with architectural incentives per the Zoning Code Maximum 100 units/acre for projects approved according to Mediterranean Design Transitional Overlay District regulations	Up to 70' maximum (no limitation on floors), or 97' maximum (with a maximum 2 additional floors) with architectural incentives per the Zoning Code Up to 120' maximum for a tower element for projects approved according to Mediterranean Design Transitional Overlay District regulations

Exhibit “B”

Section 4-104. Multi-Family Special Area (MFSA) District.

***

C. Conditional uses. The following uses are permitted in the MFSA District as conditional uses, if approved under the provisions of Article 3, Division 4, subject to the standards in this Section and other applicable regulations in Article 5 and Appendix D:

1. Bed and breakfast establishments.
2. Private yacht basins.
3. Mediterranean Design Transitional Overlay District.

***

Mediterranean Design Transitional Overlay District

This is a draft of the proposed MEDTOD district prepared for the City of Coral Gables by Dover, Kohl & Partners and Weiss Serota Helfman Cole Bireman & Popok

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DRAFT September 2, 2015

Intent

The Mediterranean Design Transitional Overlay District (MEDTOD) is available as conditional use in the Multi-Family Special Area District (MFSA) zoning district for properties designated Multi-Family Medium Density as identified in the Future Land Use Element of the Comprehensive Plan. The intent of the MEDTOD is to accommodate various forms of higher density multi-family housing in appropriate areas with access to public transit service where the transition from lower density residential development to high intensity commercial and residential development occurs over a short distance, while protecting the integrity of the single-family neighborhoods from encroachment. The MEDTOD requires thorough review and approval of architectural design, massing, materials and building form in more detail than the standard requirements of the MFSA zoning district with street level public realm and pedestrian amenities, in exchange for flexibility on density and floor area ratio limits. Approval of the MEDTOD shall be evaluated against criteria listed below, and projects in the district will:

- Enhance the image of the City by visually linking and providing transitions to the unique historic appearance of Coral Gables
- Create a street presence that is consistent with surrounding lower density areas by building facade design, building entrances and access drives
- Express the overall massing of the building(s) to be compatible with the surrounding context
- Arrange buildings to clearly delineate the public street space and block interiors
- Reduce setbacks and allow encroachments into the public rights-of-way with enhanced public open space improvements
- Meet the requirements of the Mediterranean Level 2 Bonus program in Section 5-604 of the Code
- Encourage multi-modal transportation by improving the rights-of-way that connect to a variety of uses and transit stops located within a quarter mile, or ten minute walk of the project
- Design a building consistent with the City's policies relating to design, construction, and maintenance by incorporating green building practices.

Applicability

The MEDTOD may be proposed for new construction on land that is both Multi-Family Special Area Zoning District and Multi-Family Medium Density land use designation if the property:

1. Abuts land designated Commercial High-Rise Intensity, and
2. Is located completely within 1500 linear feet of the Commercial Business District (CBD).

Process

The applicant may apply to assign the MEDTOD Conditional Use to a specific property or properties by submitting a Conditional Use site plan application.

The Planning and Zoning Board shall review and recommend whether to approve, and the City Commission shall approve, approve with conditions, or deny the application of the overlay, based on whether the application is consistent with the stated intent and meets all of the other requirements of this section. Prior to any Board or Commission hearing on the MEDTOD overlay application, the site plan and conceptual building designs shall be reviewed and approved by the Board of Architects.

Design Criteria

Each development utilizing the MEDTOD shall meet the requirements of Coral Gables Mediterranean Style Design Required Standards in Section 5-604.B. In addition, each development shall be required to comply with the Mediterranean Bonus Level 2 Standards in Section 5-604.D. However, bonus height shall be limited to the maximum height of the MEDTOD Building Height standards shown on page D-3, and bonus density and intensity shall not apply.

Performance standards

The following performance standards shall govern the general development of structures in the MEDTOD. Standards not addressed in the MEDTOD shall be as established by the underlying MFSA zoning district, the Zoning Code and the Comprehensive Plan.

Lot Occupation, Open Space & Landscaping

Parcel / Lot Area	20,000 sf min
Building Site Street Frontage	200' min
Floor Area Ratio (FAR)	3.0 max
Density	100 du/acre
Landscape Open Space	25% min[1] (10% min at Ground Level)
Shade Trees [2]	1 tree per 2,500 sf of Lot Area
Street Trees	1 tree average 60' max spacing
Clear Trunk Height	8' min.
Height	16' min.

[1] Rooftop landscape areas and private courtyards may count toward this requirement.

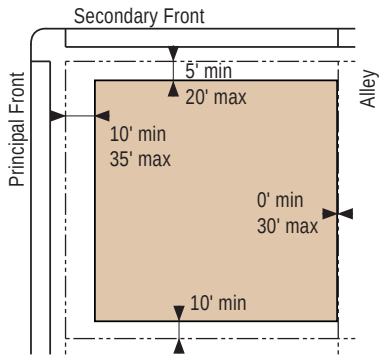
Note: All landscape and paving materials at the ground level shall be designed to complement and enhance the scale, function, quality and appearance of the streetscape and related public spaces of the City.

[2] Street Trees may count toward shade tree requirement.

Required minimum Open Space may be provided on publicly or privately accessible property and may include elevated landscaped decks

Note: Open Space requirements will cause building footprint to be no more than 90% of the Parcel / Lot Area.

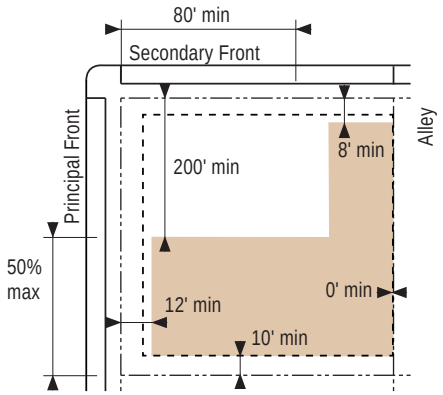
Building Setback



Principal Front Setback	10' min, 35' max
Secondary Front Setback	5' min, 20' max
Side Setback	10' min
Rear Setback	0' min, 30' max

Decorative Tower elements and Pedestrian Entrances, such as porches, stoops and canopies, may encroach into the Building Setback.

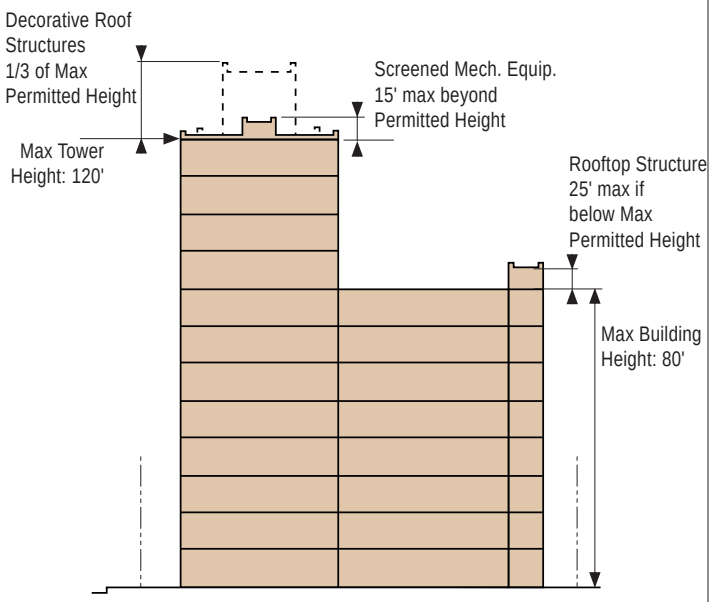
Parking Placement (Surface & Structured Parking)



Ground Floor	80' min Setback for at least 50% of Principal Front, remaining shall be Setback back no less than 12' 200' min Setback for at least 80' of Secondary Front
Upper Floors	Same as Building Setback

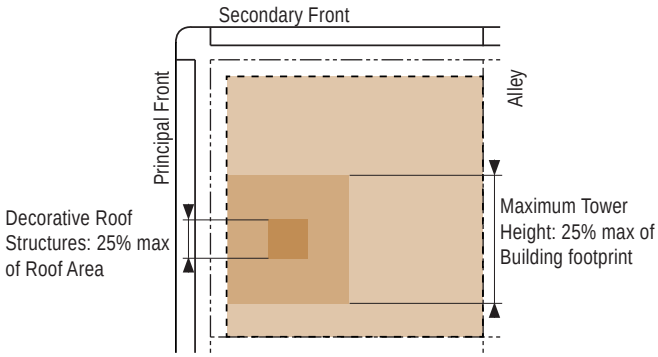
Parking shall be located within the building envelope.

Building Height (Elevation)



Permitted Building Height [1]	80' Max.
Rooftop Mechanical Equipment Structures	15' max beyond Permitted Height, 25' max if below Permitted Height
Decorative Roof Structures	1/3 max of Building Height
Structured Parking Height	5 Stories max

Building Height (Plan)



Permitted Maximum Tower Height [1]	120' Max, 25% max of the Building footprint 7,000 sf max Floorplate
Decorative Roof Structures	25% max of Roof Area

[1] Height is measured from established grade to the flat roof deck. Where there is no flat roof deck, the height shall be measured to the eave on the top floor.

Permitted uses and structures

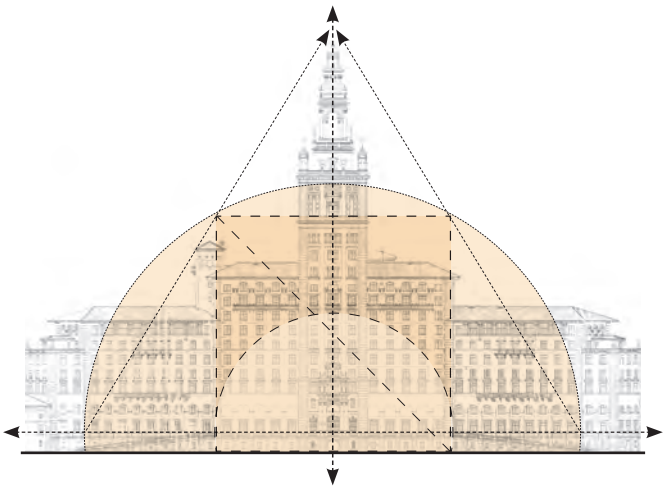
Only the following uses are permitted:

1. Multi-family dwellings.
2. Accessory uses, buildings or structures as provided in Section 4, Table No. 2. Accessory uses customarily associated with permitted uses within the MFSA Zoning District may be permitted subject to Development Review Official review and approval.

Architectural Standards

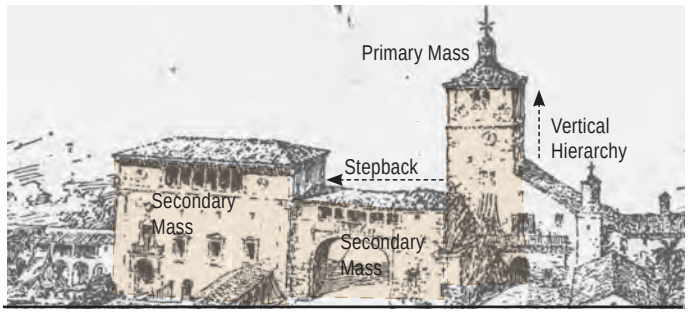
The bonuses associated with Article 5, Division 6, Table 1, "Required Standards" Table 2, "Architectural and Public Realm Standards" and Table 3, "Other Development Options" are available to projects in the Mediterranean Design Transitional Overlay District. In addition, in order to qualify for the MEDTOD, compliance with Section 5-605, ''Coral Gables Mediterranean Architecture Design" is required, and will be reviewed by city staff and considered and approved by the Board of Architects as follows.

Graphics presented below are examples for guidance. Required Coral Gables Mediterranean Architecture design elements and style shall include:

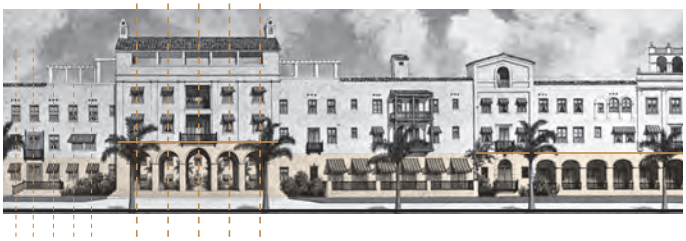


Building massing. The mass of a building shall follow the rules of classical proportion. The building mass shall include meaningful changes in roof height, facade depth, materials, textures and articulation used to express important elements in the building such as a Primary Pedestrian Entrance, a Civic space, or a Tower. All parking structure ramping shall be internalized and not reflected in the Building Massing.

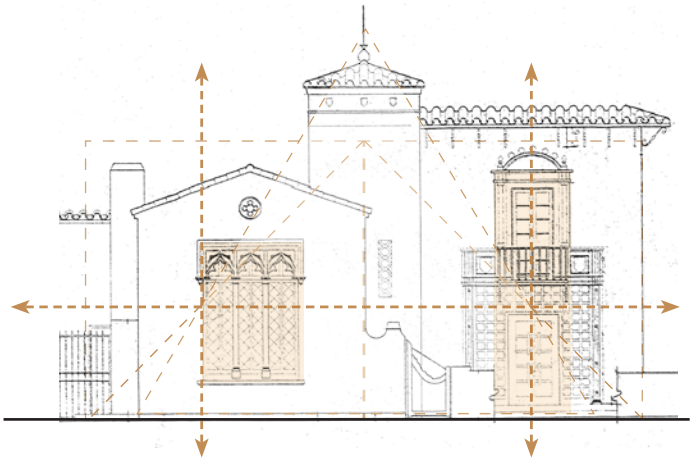
Building facades. Building facades shall be animated by windows, shutters, planters, columns, relief elements, and other architectural details to give character to the street. All buildings shall have a clearly articulated base, middle, and top. The base of the building shall express a load-bearing function and shall be designed at the pedestrian scale. The middle shall be designed with simple rhythm and pattern that expresses the interior functions. The top shall be proportioned to the scale of the City. Blank walls are prohibited.



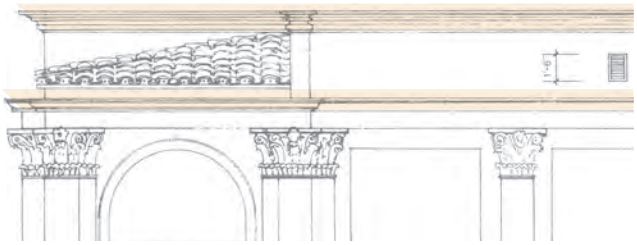
Building Stepbacks. For large-mass Buildings, Stepbacks, or change in the surface or Facade, and vertical hierarchy shall be utilized to emphasize the Primary Building Mass.
Stepbacks are changes in building mass beyond the required setbacks to reduce the potential impacts of the building bulk and mass.



Building fenestration. The rhythm and spacing of openings in the building facade and the proportion of opening to wall shall relate to the overall building proportion. All windows shall be recessed at least four (4) inches.



Building details. Buildings shall utilize details characteristic of Mediterranean architecture. These details shall provide emphasis to the building base, middle, and top, as well as the building massing and hierarchy. Building details are also encouraged to emphasize the Principal Entrance of a Building.



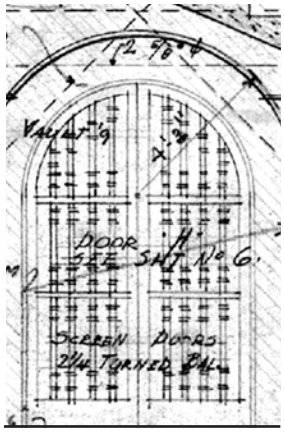
Building Rooflines. Cornice Lines and Expression Lines, or small mouldings on the Building exterior, shall mark the transition between the base, middle, and top of the Building mass.

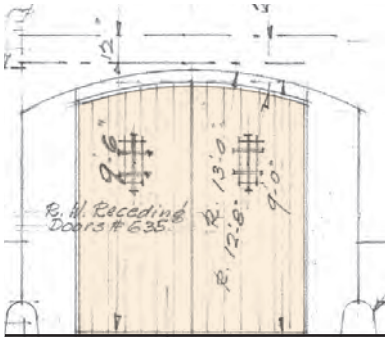
Horizontal subdivision shall be achieved in two ways:

1. Offset the plane of the facade by stepping back, permitted only elements such as towers.
2. Lines upon the facade created via shadows from moldings.

An Expression Line shall not protrude further than the Cornice extension. The scale of the Cornice shall relate to its Height on the Building and its visibility from the Sidewalk.

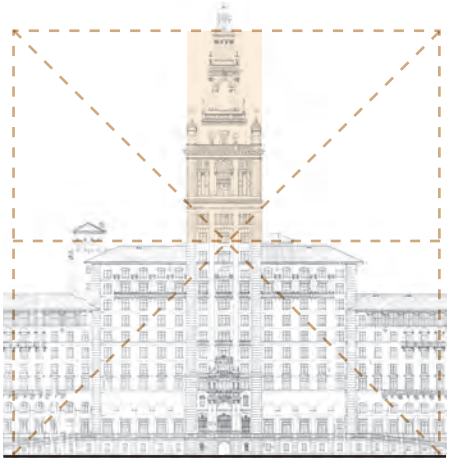
Building materials. Superior quality and energy efficient materials designed to be characteristic of Mediterranean architecture shall be used. Visually heavier materials shall be designed below visually lighter materials. The lower stories shall use materials detailed to the pedestrian and contribute to the quality of the public space. The use of natural, locally-appropriate materials shall be incorporated into the base of the building. This may include marble, granite, keystone, etc. All materials shall at minimum meet the requirements found in Article 5 of the Zoning Code.





Garage openings. Parking garage facades shall be designed according to the rules of Fenestration and limited to 1 vehicular entrance on the Principal and Secondary Front of Building. Garage Openings shall be designed to be compatible with the overall Mediterranean Architectural style and Window design of the building, but with a simplified treatment that expresses the utilitarian parking use. Garage Openings shall be screened to hide the garage structure, garage lighting, and vehicle headlights from view. Architectural screening treatment shall derive from Mediterranean Architectural precedent in Coral Gables. Garage screening materials may include wood, wrought iron, cast cement, terra cotta, or architectural quality pre-cast glass fiber reinforced concrete panels.

Primary Pedestrian Entrances. Ground level units shall be designed with Primary Pedestrian Entrances that front the sidewalk. These entrances may access the sidewalks directly or through courtyards. Stoops, porches, courtyards and other "front yard" frontages are required. Private "backyard" patios are prohibited.



Building Towers. Towers shall relate to the overall proportion and design of the building, and shall be used to emphasize the Building Massing. The scale of the Tower shall relate to its Height on the Building and its visibility from the Sidewalk level. The use of towers or similar masses may be used to reduce the mass and bulk of buildings.

Towers are recommended to sit on a low base and be trimmed to resemble pilasters surrounding glazed or louvered openings and supporting a beam and roof above. Towers and their elements shall be bilaterally symmetrical. These elements also usually strongly exhibit the cap, shaft, and base arrangement of the Tower.

The roof of a Tower is usually the crowning element of a Building and often enriched with upgraded materials, such as a copper roof and articulated with elements, such as finials, weathervanes and spires. The slope of the roof is typically steeper than the main roof.

EXHIBIT "C"

VILLA VALENCIA
COMPREHENSIVE PLAN ANALYSIS

Villa Valencia will be consistent with the following Comprehensive Plan goals, policies, and objectives:

Goal FLU-1 – Protect, strengthen, and enhance the City of Coral Gables as a vibrant community ensuring that its neighborhoods, business opportunities, shopping, employment centers, cultural activities, historic value, desirable housing, open spaces, and natural resources make the City a very desirable place to work, live and play.

Villa Valencia will protect, strengthen and enhance the City of Coral Gables as a vibrant community and bring desirable, luxury housing with upscale amenities and enhanced streetscape improvements close to employment, cultural and entertainment centers. Villa Valencia is located only one block west of the Central Business District ("CBD"), and provides accommodations for residents of the City who enjoy walking to work or their favorite restaurants instead of driving. The City's vision of being pedestrian friendly and a desirable place to work, live and play is realized with the proposed Villa Valencia.

Objective FLU-1.1 - Preserve Coral Gables as a "placemaker" where the balance of existing and future uses is maintained to achieve a high quality living environment by encouraging compatible land uses, restoring and protecting the natural environment, and providing facilities and services which meet or exceed the minimum Level of Service (LOS) standards and meet the social and economic needs of the community through the Comprehensive Plan and Future Land Use Classifications and Map.

Villa Valencia will preserve Coral Gables as a "placemaker" and balance the existing and future surrounding land uses to achieve a high quality living and working environment. The Applicant is proposing a change to the Property's land use designation, to make it compatible with its current Multi-Family Special Area zoning district. The land use text and map changes along with the proposed Mediterranean Design Transition Overlay District ("MEDTOD") will enable Villa Valencia to be designed as a high quality project with compatible land uses. The proposed overlay district requires a higher standard of building design and public realm improvements, which will enhance the area, preserve the City as a "placemaker" and balance the surrounding uses that today are lacking compatibility and a logical transition. Villa Valencia will also enhance City infrastructure, provide facilities and services surrounding the development, and with its superior architectural details and prominent tower feature, it will bring George Merrick's vision to this part of the City.

<u>Objective FLU-1.7</u> – Discourage the proliferation of urban sprawl by including a regulatory framework for encouraging future infill and redevelopment within existing developed areas.

Villa Valencia will create an infill redevelopment project which will discourage urban sprawl and encourage the reuse of underutilized parcels. The Project will replace an older and underutilized residential project located on 15 separate lots with a unified and beautifully designed, luxury residential building, which will revitalize and reenergize this area of the City. Being so close to the CBD and transit corridors makes this urban infill site a perfect location for this multi-family residential development.

<u>Objectives DES-1.1</u> – Preserve and promote high quality, creative design and site planning that is compatible with the City's architectural heritage, surrounding development, public spaces and open spaces.

Villa Valencia will revitalize this area by providing a high quality residential development that is creatively designed and compatible with the surrounding neighborhood. The Project's design, with its Mediterranean style and features, reaffirms George Merrick's vision for Coral Gables. Villa Valencia incorporates beautiful streetscape improvements around the entire Project to facilitate pedestrian activity and connectivity to surrounding areas. The Project has been designed with first floor residential units containing large front gardens, large pedestrian corridors, green areas and plazas, tree lined streets and ground level amenities such as water features and benches. The design also incorporates Mediterranean style architecture such as arcades and loggias and a prominent tower element which creates the center focal point at the top of the building. The Project is consistent and compatible with the surrounding areas and satisfies the City's vision for new development.

<u>Policy DES-1.1.1</u> - Promote and support George Merrick's vision consistent with the established historic and cultural fabric of the City.

Villa Valencia is inspired by classical Mediterranean architecture and will honor and promote George Merrick's vision for the City of Coral Gables. With a taller prominent tower feature framing the Project and arcades and loggias throughout and along the ground floor, Villa Valencia with its Mediterranean design will be a significant step towards fostering development in the area which is consistent with the established historic and cultural fabric of the City.

<u>Policy DES-1.1.2</u> - Provide for rigorous design guidelines, standards, and review processes via the City's Zoning Code that ensure high quality design of buildings and spaces.

The Applicant, with the introduction of the MEDTOD overlay zoning district, seeks to comply with more stringent design guidelines and standards for Villa Valencia than merely relying on the current Multi-Family Special Area District design guidelines. The MEDTOD requires the Applicant and its design professionals not only to provide a superior design, but also create added benefits and public realm improvements for the community. The project architects are committed to complying with and satisfying the rigorous design guidelines, standards and

review processes in order to ensure that the Project is being designed and constructed with the utmost quality and detail.

<u>Objective DES-1.2</u> - Preserve the Coral Gables Mediterranean design and architecture.

Villa Valencia has been meticulously designed in a Mediterranean architectural style compatible with the City's architectural heritage. The Project promotes sound and aesthetically pleasing designs and will ensure the preservation of the unique character of the City's Mediterranean architecture.

<u>Objective HOU-1.2</u> - Promote sound, aesthetically pleasing housing.

Villa Valencia is aesthetically pleasing and in visual harmony with the neighborhood and the vision for the City. With its large pedestrian corridors, green areas and plazas, tree lined streets and ground level amenities, Villa Valencia's design creatively incorporates the City's architectural heritage including Mediterranean style architecture, arcades and loggias and a tower element at the top of the building to make it compatible with adjacent residential areas. The Project is also designed to ensure the preservation of the unique character of the City's existing neighborhoods and the architects have gone to great lengths to incorporate additional features and landscaping around the entire project to greatly enhance the surrounding area.

<u>Policy MOB-1.1.1</u> - Promote mixed use development to provide housing and commercial services near employment centers, thereby reducing the need to drive.

While not a mixed use project, Villa Valencia, is a multi-family residential development which will provide necessary housing near the CBD, an employment, shopping and entertainment area. Villa Valencia is located one block west of the CBD and will create pedestrian friendly corridors with large sidewalks and green areas so residents can safely walk to employment and entertainment areas without being dependent on automobiles.

<u>Policy MOB-1.1.2</u> - Encourage land use decisions that encourage infill, redevelopment and reuse of vacant or underutilized parcels that support walking, bicycling and public transit use.

Villa Valencia is located right off Biltmore Way and a block from LeJeune Road, two of the City's main transit corridors. The Property where the Project is proposed is currently an underutilized small residential development on 15 separate lots. Villa Valencia is designed to create a multi-family urban infill development, with luxury residential apartments close to the CBD. The Project will include large public corridors with tree lined sidewalks, green areas and pedestrian amenities, all which support walking, bicycling and public transit use.

Application and Application Representation

Affidavit

Providing for Property Owner's

Authorization to process

application

City of Coral Gables Planning Division Application

305.460.5211 planning@coralgables.com www.coralgables.com

Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- ☐ Abandonment and Vacations
- ☐ Annexation
- ☐ Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- ☒ Comprehensive Plan Map Amendment - Small Scale
- ☐ Comprehensive Plan Map Amendment - Large Scale
- ☒ Comprehensive Plan Text Amendment
- ☐ Conditional Use - Administrative Review
- ☐ Conditional Use without Site Plan
- ☐ Conditional Use with Site Plan
- ☐ Development Agreement
- ☐ Development of Regional Impact
- ☐ Development of Regional Impact - Notice of Proposed Change
- ☐ Mixed Use Site Plan
- ☐ Planned Area Development Designation and Site Plan
- ☐ Planned Area Development Major Amendment
- ☐ Restrictive Covenants and/or Easements
- ☒ Site Plan
- ☐ Separation/Establishment of a Building Site
- ☐ Subdivision Review for a Tentative Plat and Variance
- ☐ Transfer of Development Rights Receiving Site Plan
- ☐ University Campus District Modification to the Adopted Campus Master Plan
- ☒ Zoning Code Map Amendment
- ☒ Zoning Code Text Amendment
- ☐ Other: _____

General information

Street address of the subject property: 501, 515 & 525 Valencia Avenue

Property/project name: Villa Valencia

Legal description: Lot(s) Lots 24 through 38

Block(s) 7 Section (s) Coral Gables Biltmore

Property owner(s): Valencia 34 Development, LLC Attn: Matthew Pellar

Property owner(s) mailing address: 2665 South Bayshore Drive, Suite 410, Coral Gables, FL 33133

Telephone: Business 305-854-2552 Fax _____

Other _____ Email MPellar @ thetmcompanies.com

City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Mario Garcia-Serra, Esq.

Applicant(s)/agent(s) mailing address: Gunster, Brickell World Plaza, 600 Brickell Avenue, Suite 3500, Miami, FL 33131

Telephone: Business (305) 376-6061 Fax (305) 376-6010

Other _____ Email MGarcia-Serra @ gunster.com

Property information

Current land use classification(s): Residential Multi-Family Medium Density

Current zoning classification(s): Multi-Family Special Area District (MFSA)

Proposed land use classification(s) (if applicable): Residential Multi-Family High Density

Proposed zoning classification(s) (if applicable): No zoning change proposed. New overlay (MEDTOD) is proposed.

Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Divison Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- ☐ Aerial.
- ☒ Affidavit providing for property owner's authorization to process application.
- ☐ Annexation supporting materials.
- ☒ Application fees.
- ☒ Application representation and contact information.
- ☐ Appraisal.
- ☒ Architectural/building elevations.
- ☒ Building floor plans.
- ☒ Comprehensive Plan text amendment justification.
- ☒ Comprehensive Plan analysis.
- ☒ Concurrency impact statement.
- ☒ Encroachments plan.
- ☐ Environmental assessment.
- ☒ Historic contextual study and/or historical significance determination.
- ☒ Landscape plan.
- ☒ Lighting plan.
- ☒ Massing model and/or 3D computer model.
- ☒ City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- ☒ Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- ☐ Parking study.
- ☐ Photographs of property, adjacent uses and/or streetscape.
- ☐ Plat.
- ☒ Property survey and legal description.

Property owners list, notification radius map and two sets of labels.

- ☐ Public Realm Improvements Plan for mixed use projects.
- ☒ Public school preliminary concurrency analysis (residential land use/zoning applications only).
- ☒ Sign master plan.
- ☒ Site plan and supporting information.
- ☒ Statement of use and/or cover letter.
- ☒ Streetscape master plan.
- ☐ Traffic accumulation assessment.
- ☐ Traffic impact statement.
- ☒ Traffic impact study.
- ☐ Traffic stacking analysis.
- ☐ Utilities consent.
- ☒ Utilities location plan.
- ☒ Vegetation survey.
- ☐ Video of the subject property.
- ☐ Zoning Analysis (Preliminary).
- ☒ Zoning Code text amendment justification.
- ☐ Warranty Deed.
- ☐ Other:_____

Application submittal requirements

1. Hard copies. The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preappplication meeting.
2. Digital media copies. Two (2) compact discs (CD ROMs) of the entire application including all the items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 Mb. All discs shall be labeled with the applicant(s) name, project name and date of submittal.

Applicant/agent/property owner affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
   a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
   b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
   Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.

5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s): By: _____ Matthew Pellar, Manager	Property owner(s) print name: Valencia 34 Development, LLC, a Florida limited liability company By: Valencia 34, LLC, a Florida limited liability company, its Member Manager By: Matthew Pellar, Manager
Property owner(s) signature(s):	Property owner(s) print name:
Property owner(s) signature(s):	Property owner(s) print name:

Address: 2665 South Bayshore Drive, Suite 410, Coral Gables, FL 33133

Telephone: (305) 854-2552	Fax:	Email: MPellar@thetmcompanies.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF MIAMI-DADE
The foregoing instrument was acknowledged before me this 9th day of OCTOBER by MATTHEW PELLAR
(Signature of Notary Public - State of Florida)

CECILIA MARTIN
Notary Public - State of Florida
My Comm. Expires Mar 27, 2016
Commission # EE 158682
Bonded Through National Notary Assn.

(Print, Type or Stamp Commissioned Name of Notary Public)
☑ Personally Known OR ☐ Produced Identification; Type of Identification Produced _____

Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:

Address:

Telephone:	Fax:	Email:

NOTARIZATION

STATE OF FLORIDA/COUNTY OF
The foregoing instrument was acknowledged before me this _____ day of _____ by _____
(Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)
☐ Personally Known OR ☐ Produced Identification; Type of Identification Produced _____

~~Applicant(s)~~/Agent(s) Signature: Mario Garcia-Serra	~~Applicant(s)~~/Agent(s) Print Name: Mario Garcia-Serra

Address: Gunster, Brickell World Plaza, 600 Brickell Avenue, Suite 3500, Miami, FL 33131

Telephone: (305) 376-6061	Fax: (305) 376-6010	Email: MGarcia-Serra@gunster.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF
The foregoing instrument was acknowledged before me this 8th day of October by Mario Garcia Serra
(Signature of Notary Public - State of Florida)

ADA VALIDO
MY COMMISSION EXPIRES
January 1, 2018
#FF 050720
Bonded thru Notary Public Underwriters
NOTARY PUBLIC STATE OF FLORIDA

(Print, Type or Stamp Commissioned Name of Notary Public)
☑ Personally Known OR ☐ Produced Identification; Type of Identification Produced _____

September 2014

Ordinances, Resolutions

Covenants, Development Agreements

Previously Granted for

The Property

Norquest, Jim

m:	Davis, Yolande [YDavis@coralgables.com]
t:	Monday, June 30, 2014 12:16 PM
To:	Norquest, Jim
Subject:	RE: 501, 515 and 525 Valencia Avenue

Good Afternoon Mr. Norquest:

As with the other addresses given I did not locate any ordinances and/or resolutions. A member of staff is checking on the covenants. Thank you for your patience and I will get back to you.

Yoli

From: Norquest, Jim [mailto:JNorquest@gunster.com]
Sent: Monday, June 30, 2014 12:06 PM
To: Davis, Yolande
Subject: FW: 501, 515 and 525 Valencia Avenue

Dear Ms. Davis—can you give me a status update on this request? Thanks

From: Norquest, Jim
nt: Thursday, June 19, 2014 6:02 PM
avis, Yolande'
oject: 501, 515 and 525 Valencia Avenue

Dear Ms. Davis,

We are preparing a DRC application to the City of Coral Gables that will request a development approval on a site consisting of the three parcels noted above. As part of that application, I would like to request copies of any ordinances, resolutions, covenants, development agreements, etc. previously granted on these sites by the City Commission. Thank you very much for your help.

GUNSTER
FLORIDA'S LAW FIRM FOR BUSINESS
James K. Norquest, AICP, Planner
777 South Flagler Drive, Suite 500 East
West Palm Beach, FL 33401
P 561-650-0651 F 561-671-2569
gunster.com
Email me: JNorquest@gunster.com

Application

Representation & Contact Information

Contact Information

Applicant & Attorney
Mario Garcia-Serra
Gunster
Brickell World Plaza
600 Brickell Avenue
Suite 3500
Miami, FL 3313

Ph: 305-376-6061
Email: MGarcia-Serra@gunster.com

Property Owner
Valencia 34 Development, LLC
2665 South Bayshore Drive
Suite 410
Coconut Grove, FL 33133

Contact: Matthew Pellar
Ph: 305-854-2552
Email: MPellar@thetmcompanies

Architect
The Fullerton Group, Inc.
366 Altara Avenue
Coral Gables, FL 33146

Contact: John Fullerton
Ph: 305-442-4200
Email: JFullerton@thefullertongroup.com
& cc: JSheilds@thefullertongroup.com

Hamed Rodriguez Architects Inc.
3250 Mary Street, Suite 305
Coconut Grove, FL 33133

Contact: Hamed Rodriguez
Ph: 305-529-9967
Email: hamed@hr-architects-inc.com

Traffic Engineer
David Plummer & Associates
1750 Ponce De Leon Blvd.
Coral Gables, FL 33134

Contact: Juan Espinosa
Ph: 305-447-0900
Email: Juan.Espinosa@DPlummer.com

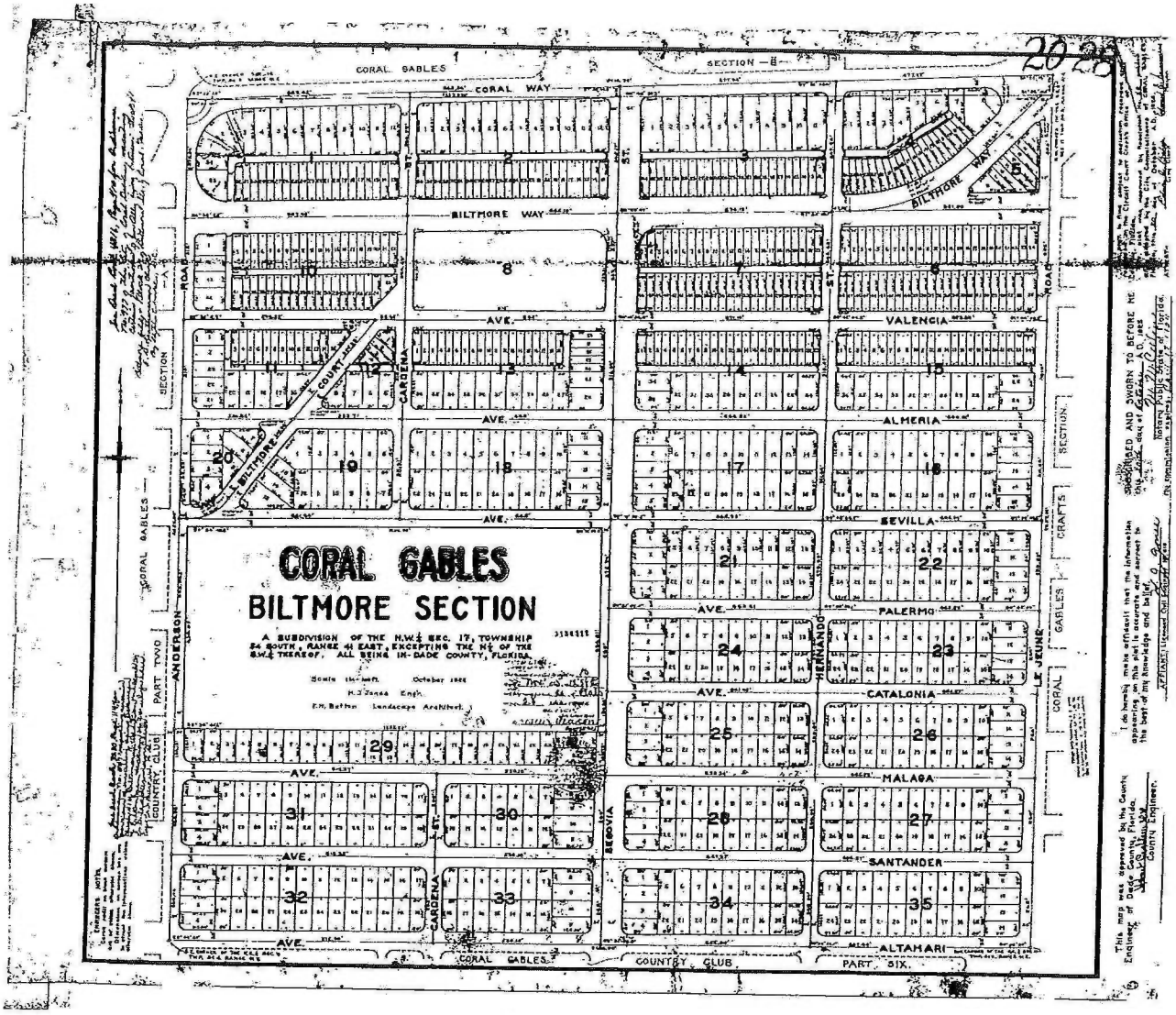
Plat,

Property Survey

&

Vegetation Survey

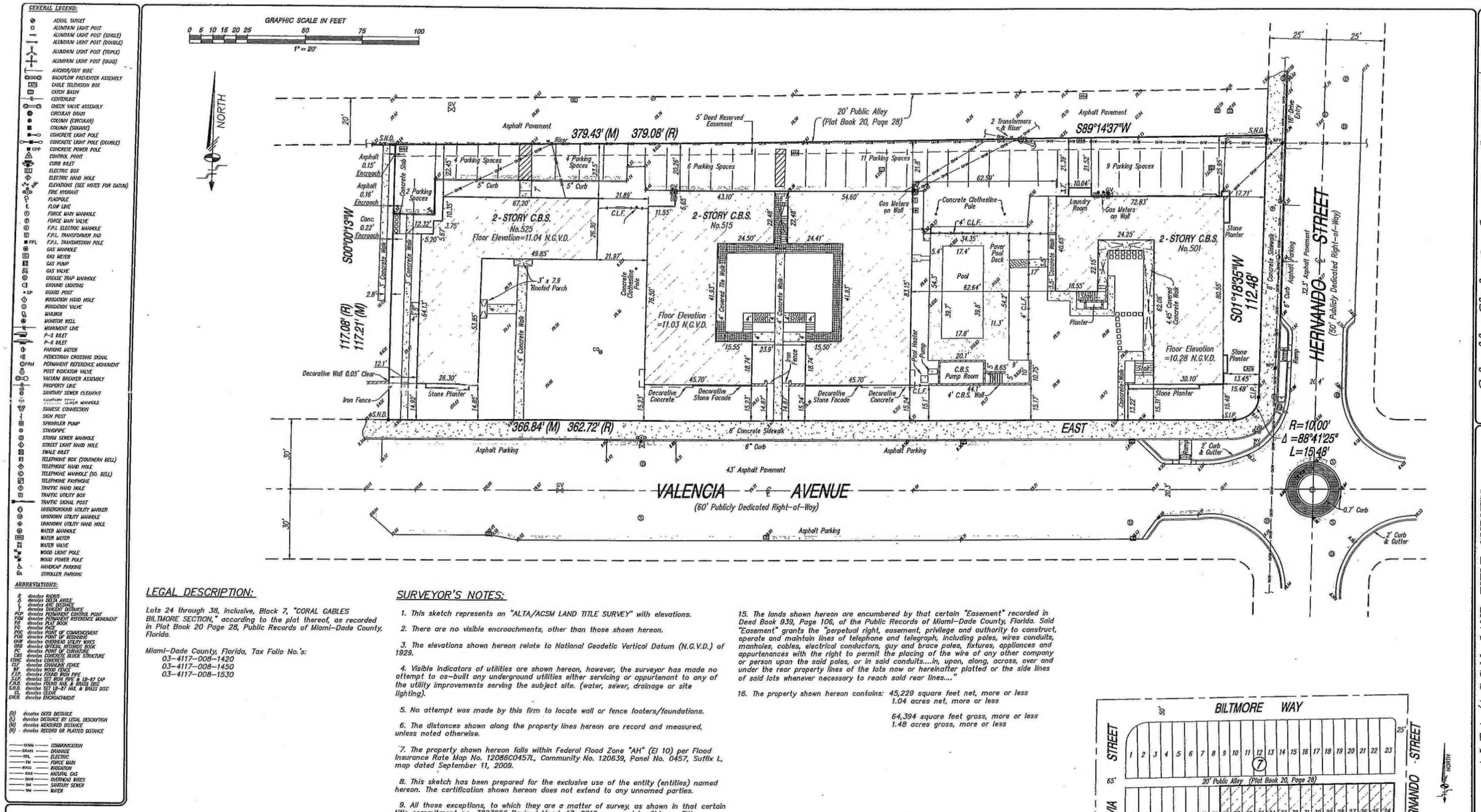
Plat


CORAL GABLES
BILTMORE SECTION
A SUBDIVISION OF THE N.W.¼ SEC. 17, TOWNSHIP 54 SOUTH, RANGE 41 EAST, EXCEPTING THE N½ OF THE S.W.¼ THEREOF, ALL BEING IN DADE COUNTY, FLORIDA.
CORAL GABLES
SECTION -B-
CORAL WAY
BILTMORE WAY
BILTMORE WAY
BILTMORE AVE.
VALENCIA
ALMERIA
SEVILLA
PALERMO
CATALONIA
MALAGA
SANTANDER
ALTAMARI
CARDENA ST.
SEGOVIA
HERNANDO
LE JEUNE
ANDERSON ROAD
BILTMORE COURT
CORAL GABLES COUNTRY CLUB
PART TWO
PART SIX
CORAL GABLES
COUNTRY CLUB
CORAL GABLES
CRAFTS SECTION
SECTION
ENGINEERS NOTE
This map was approved by the County Engineer of Dade County, Florida.
County Engineer.
I do hereby make affidavit that the information appearing on this plat is accurate and correct to the best of my knowledge and belief.
AFFIANT: Licensed Civil Engineer
SUBSCRIBED AND SWORN TO BEFORE ME
Notary Public, State of Florida
2029

Property Survey

&

Legal Description



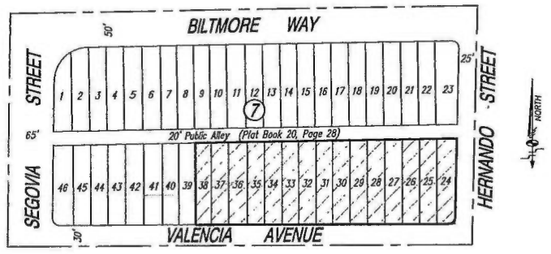
LEGAL DESCRIPTION:

Lots 24 through 38, inclusive, Block 7, "CORAL GABLES BILTMORE SECTION," according to the plat thereof, as recorded in Plat Book 20 Page 28, Public Records of Miami-Dade County, Florida.

Miami-Dade County, Florida, Tax Folio No.'s:
03-4117-008-1420
03-4117-008-1450
03-4117-008-1530

SURVEYOR'S NOTES:

1. This sketch represents an "ALTA/ACSM LAND TITLE SURVEY" with elevations.
2. There are no visible encroachments, other than those shown hereon.
3. The elevations shown hereon relate to National Geodetic Vertical Datum (N.G.V.D.) of 1929.
4. Visible indicators of utilities are shown hereon, however, the surveyor has made no attempt to as-built any underground utilities either servicing or appurtenant to any of the utility improvements serving the subject site. (water, sewer, drainage or site lighting).
5. No attempt was made by this firm to locate wall or fence footers/foundations.
6. The distances shown along the property lines hereon are record and measured, unless noted otherwise.
7. The property shown hereon falls within Federal Flood Zone "AH" (El 10) per Flood Insurance Rate Map No. 12086C0457L, Community No. 120639, Panel No. 0457, Suffix L, map dated September 11, 2009.
8. This sketch has been prepared for the exclusive use of the entity (entities) named hereon. The certification shown hereon does not extend to any unnamed parties.
9. All those exceptions, to which they are a matter of survey, as shown in that certain title commitment no. 3823656 Revised March 13, 2012, prepared by Chicago Title Insurance Company, effective date February 27, 2012 at 11:30 p.m., to the extent that can be plotted, are shown hereon.
10. Any applicable building setback lines affecting the subject property are not shown hereon.
11. Benchmark A: City of Coral Gables nail & brass washer on top of curb at the Southeast corner of Cardena Street and Biltmore Way. Elevation=10.52 N.G.V.D..
12. Benchmark B: City of Coral Gables nail & brass washer on top of curb at front of sidewalk at he Southeast corner of Cardena Street and Coral Way S.W. 24th. Street). Elevation=9.20 N.G.V.D..
13. Unless stated otherwise, this firm does not certify to the extent to which the subject property complies with applicable zoning requirements, regulations and/or restrictions.
14. The lands shown hereon are encumbered by deed reserved easements reflected in that certain "Warranty Deed" recorded in Deed Book 1304, Page 9, of the Public Records of Miami-Dade County, Florida. Said "Warranty Deed" grants the "privilege reserved to the said first party, its successors and or assigns to erect and maintain electric, telephone poles and suitable equipment for any other utilities and to lay water mains on or in the rear five feet of the land hereby conveyed, or on or in the three foot strip along the side lines thereof, when necessary to gain access to the five foot strip reserved along the rear lines of lots in Coral Gables for utility purposes, and to plant trees and shrubbery on the rear five feet of lots facing on Red Road, and for such purposes as well as to repair, remove or replace said poles, equipment and mains, the said first party shall have the right for itself, its agent and employees to enter upon said premises in reasonable manner and at reasonable time."
15. The lands shown hereon are encumbered by that certain "Easement" recorded in Deed Book 939, Page 106, of the Public Records of Miami-Dade County, Florida. Said "Easement" grants the "perpetual right, easement, privilege and authority to construct, operate and maintain lines of telephone and telegraph, including poles, wires conduits, manholes, cables, electrical conductors, guy and brace poles, fixtures, appliances and appurtenances with the right to permit the placing of the wire of any other company or person upon the said poles, or in said conduits....in, upon, along, across, over and under the rear property lines of the lots now or hereinafter platted or the side lines of said lots whenever necessary to reach said rear lines...."
16. The property shown hereon contains: 45,229 square feet net, more or less
1.04 acres net, more or less
64,394 square feet gross, more or less
1.48 acres gross, more or less



LOCATION MAP

Block 7, "CORAL GABLES BILTMORE SECTION"
Plat Book 20, Page 28
Scale: 1"=100'

CERTIFIED TO:

1. Hinshaw & Culbertson, LLP
2. Chicago Title Insurance Company
3. TM Real Estate Group, LLC, a Florida limited liability company
4. Brian K. Goodkind P.A.

THIS IS TO CERTIFY:

That this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by American Land Title Association and National Society of Professional Surveyors. The field was completed on October 21, 2011.

This Survey complies with the "Minimum Technical Standards adopted by the Florida State Board of Professional Surveyors and Mappers as contained in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes.

Schwebke-Shiskin & Associates, Inc.

By:_____ Date: October 21, 2011
Mark Steven Johnson Sec'y Treasurer
Professional Land Surveyor #4775
State of Florida

Schwebke-Shiskin & Associates, Inc.
LAND PLANNERS • ENGINEERS • LAND SURVEYORS
3240 CORPORATE WAY, MIRAMAR, FLORIDA 33025 TEL: (954) 435-7010 FAX: (954) 435-3288

CERTIFICATE OF AUTHORIZATION No. LB-87

NOTE: This sketch is not valid unless it bears the signature and the original raised seal of a Florida licensed surveyor and mapper.

Drawn By: Dbo	Survey Date: Oct 21, 2011	Checked By: MSJ	Date: 11-2-2011
Order No. 199312	F.B. No.: 2308 Pg 13	Scale: AS SHOWN	
File No. AJ-4874		Sheet: 1 of 1	Sheet(s)

This represents a "Boundary Survey."

A.L.T.A./A.C.S.M. LAND TITLE SURVEY

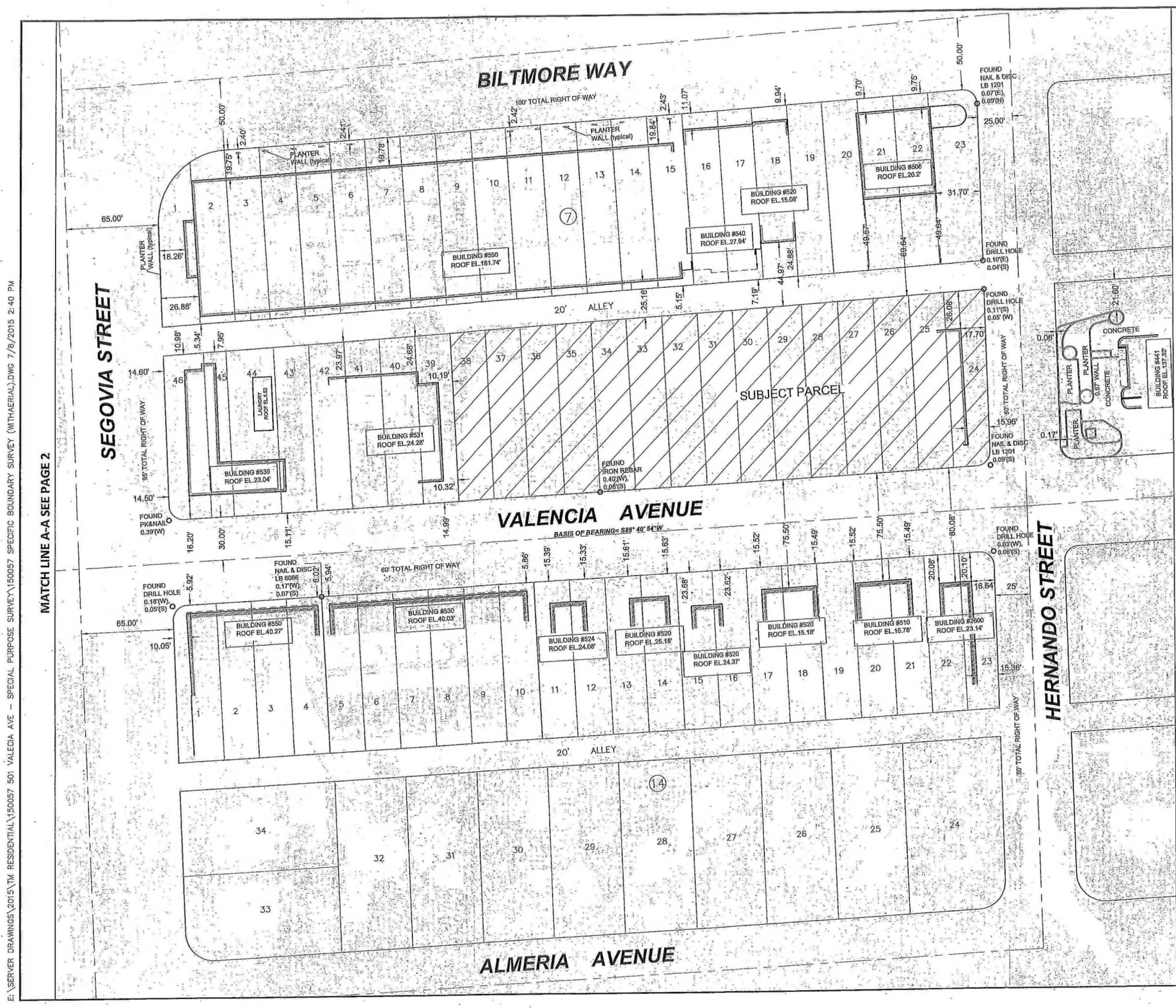
PREPARED FOR:
Hinshaw & Culbertson ,LLP

Section 17, Township 54 South, Range 41 East, City of Coral Gables, Miami-Dade County, Florida

REVISIONS

Date:	Order No.	Field Book	Remarks:	By:
2/13/12	N.A.	N.A.	Revise To Reflect New Title Commitment	BMO

FILE NO. AJ-4874



SPECIFIC PURPOSE SURVEY

SURVEYOR'S NOTES:

1) The above captioned property was surveyed and described based on the above legal description furnished by client.
2) This certification is only for the lands as described, it is not a certification of Title, Zoning, Easements, or Freedom of Encumbrances, ABSTRACT NOT REVIEWED.
3) There may be additional restrictions not shown on this survey that may be found in the Public Records of this County. Examination of ABSTRACT OF TITLE will have to be made to determine recorded Instruments, if any affecting this property.
4) Ownership subject to OPINION OF TITLE.
5) Type of Survey: SPECIFIC PURPOSE SURVEY to show adjacent buildings set backs and building heights above grade
6) Unless otherwise noted, this Firm has not attempted to locate Footings and/or Foundations (underground).
7) This SPECIFIC PURPOSE SURVEY, has been prepared for the exclusive use of the entities named hereon. The Certificate does not extend to any unnamed party.
8) Precision of Closure 1:7500 Suburban Class Survey
9) Bearings shown are assumed and are based on the Centerline of VALENCIA AVENUE being S88° 40' 54"W
10) Aerial provided for visual reference only.

LEGEND AND ABBREVIATIONS:

LB = LICENSED BUSINESS
LS = LICENSED SURVEYOR

PROPERTY LINE
LOT LINE
CENTERLINE

DATE:	
REVISIONS:	
DATE:	
APPROVALS:	

CERTIFICATION: STATE OF FLORIDA JOSE M. ROBAINA PROFESSIONAL SURVEYOR AND MAPPER No. 5205 STATE OF FLORIDA FOR THE FIRM NOT VALID WITHOUT SIGNATURE AND SEAL

FIELD BOOK:
DRAWN: AA
CHECKED: JMR
SCALE: 1"=30'

ROBAINA AND ASSOCIATES INC.
ENGINEERS • PLANNERS • SURVEYORS
5723 NW 158th STREET
MIAMI LAKES, FL 33014
PH (305) 823-9419
L.B. # 5304

DRAWING NAME: SPECIFIC PURPOSE SURVEY
PROJECT: 501, 515, and 521 Valencia Ave
PREPARED FOR: T M Residential, LLC.

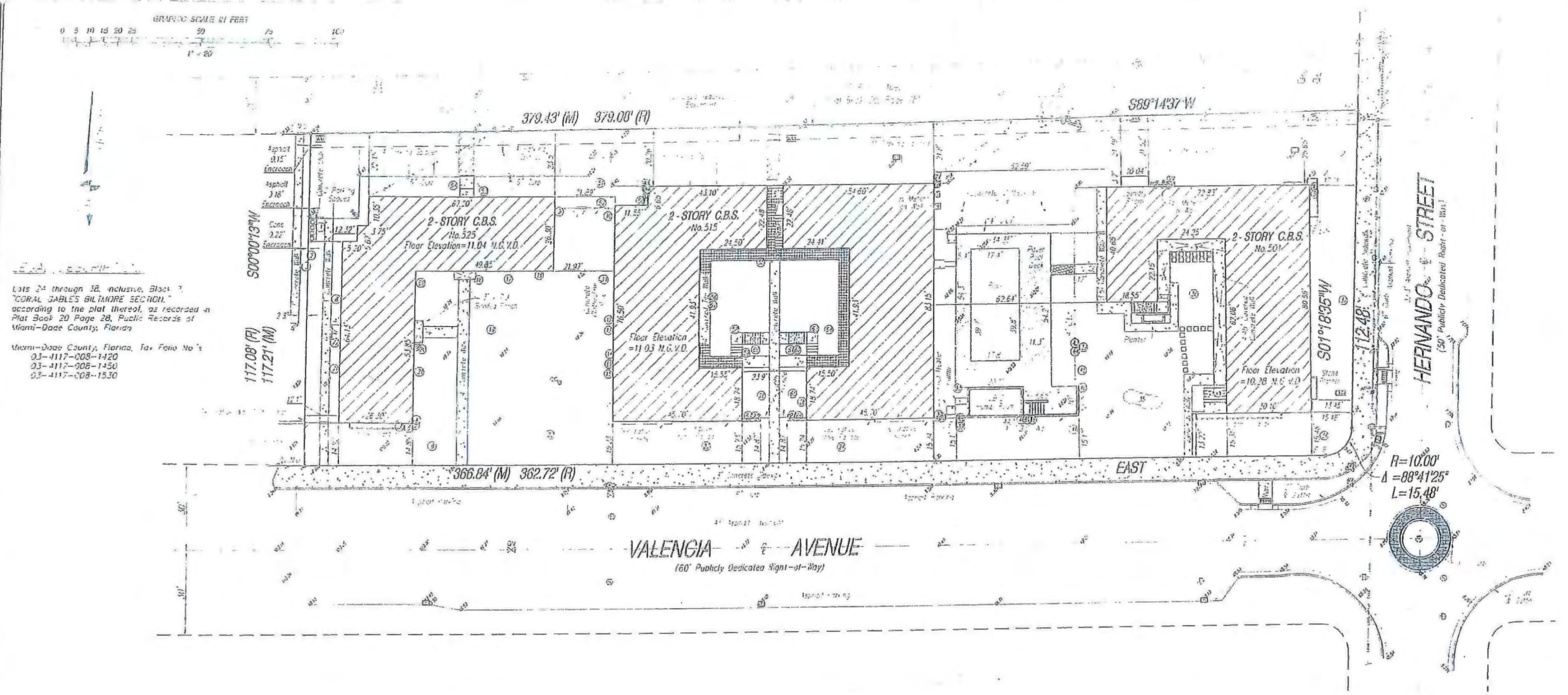
SHEET: 1 OF 2 SHEETS
DATE: DWG: 07-08-15
DATE: F.W. 07-07-15
PROJ. No: 150057

E:\SERVER DRAWINGS\2015\TM RESIDENTIAL\150057 501 VALECIA AVE - SPECIAL PURPOSE SURVEY\150057 SPECIFIC BOUNDARY SURVEY (MITHAERIAL).DWG 7/8/2015 2:40 PM

Vegetation Assessment

And/Or

Survey



SURVEYOR'S NOTES:

1. This sketch represents an "ALTA/ACSM LAND TITLE SURVEY" with elevations

2. There are no visible encroachments, other than those shown hereon

3. The elevations shown hereon relate to National Geodetic Vertical Datum (N.G.V.D.) of 1929.

4. Visible indicators of utilities are shown hereon, however, the surveyor has made no attempt to as-built any underground utilities either servicing or appurtenant to any of the utility improvements serving the subject site. (water, sewer, drainage or site lighting)

5. No attempt was made by this firm to locate wall or fence footers/foundations.

6. The distances shown along the property lines hereon are record and measured, unless noted otherwise

7. The property shown hereon falls within Federal Flood Zone "AH" (El 10) per Flood Insurance Rate Map No 12086C0457L, Community No 120639, Panel No 0457, Suffix L, map dated September 11, 2009.

8. This sketch has been prepared for the exclusive use of the entity (entities) named hereon. The certification shown hereon does not extend to any unnamed parties

9. All those exceptions, to which they are a matter of survey, as shown in that certain title commitment no 3823656 Revised March 13, 2012, prepared by Chicago Title Insurance Company, effective date February 27, 2012 at 11:30 p.m., to the extent that can be plotted, are shown hereon.

10. Any applicable building setback lines affecting the subject property are not shown hereon

11. Benchmark A: City of Coral Gables nail & brass washer on top of curb at the Southeast corner of Cardena Street and Biltmore Way. Elevation=10.52 N.G.V.D.

12. Benchmark B: City of Coral Gables nail & brass washer on top of curb at front of sidewalk at ne Southeast corner of Cardena Street and Coral Way S.W. 24th. Street). Elevation=9.20 N.G.V.D.

13. Unless stated otherwise, this firm does not certify to the extent to which the subject property complies with applicable zoning requirements, regulations and/or restrictions

14. The lands shown hereon are encumbered by deed reserved easements reflected in that certain "Warranty Deed" recorded in Deed Book 1304, Page 9, of the Public Records of Miami-Dade County, Florida. Said "Warranty Deed" grants the "privilege reserved to the said first party, its successors and or assigns to erect and maintain electric, telephone poles and suitable equipment for any other utilities and to lay water mains on or in the rear five feet of the land hereby conveyed, or on or in the three foot strip along the side lines thereof, when necessary to gain access to the five foot strip reserved along the rear lines of lots in Coral Gables for utility purposes, and to plant trees and shrubbery on the rear five feet of lots facing on Red Road, and for such purposes as well as to repair, remove or replace said poles, equipment and mains, the said first party shall have the right for itself, its agent and employees to enter upon said premises in reasonable manner and at reasonable time."

15. The lands shown hereon are encumbered by that certain "Easement" recorded in Deed Book 939, Page 106, of the Public Records of Miami-Dade County, Florida. Said "Easement" grants the "perpetual right, easement, privilege and authority to construct, operate and maintain lines of telephone and telegraph, including poles, wires conduits, manholes, cables, electrical conductors, guy and brace poles, fixtures, appliances and appurtenances with the right to permit the placing of the wire of any other company or person upon the said poles, or in said conduits, in, upon, along, across, over and under the rear property lines of the lots now or hereinafter platted or the side lines of said lots whenever necessary to reach said rear lines"

16. The property shown hereon contains. 45,229 square feet net, more or less
1.04 acres net, more or less

64,394 square feet gross, more or less
1.48 acres gross, more or less

CERTIFIED TO:

1. Hinshaw & Culbertson, LLP
2. Chicago Title Insurance Company
3. TM Real Estate Group, LLC, a Florida limited liability company
4. Brian K. Goodkind P.A.
5. Valencia 34 Development, LLC, a Florida limited liability company

THIS IS TO CERTIFY:

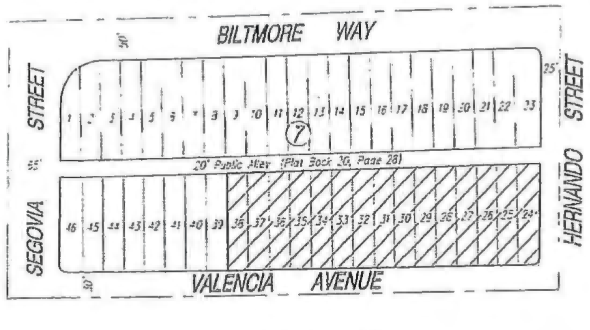
That this map or plat and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by American Land Title Association and National Society of Professional Surveyors. The field was completed on October 21, 2011 (Updated June 30, 2014).

This Survey complies with the "Minimum Technical Standards adopted by the Florida State Board of Professional Surveyors and Mappers as contained in Chapter 5J-17, Florida Administrative Code, pursuant to Chapter 472.027, Florida Statutes.

Schwebke-Shiskin & Associates, Inc.

By: ______________ Date: June 30, 2014

Mark Steven Johnson Sec'y Treasurer
Professional Land Surveyor #4775
State of Florida



LOCATION MAP

Block 7, "CORAL GABLES BILTMORE SECTION"
Plat Book 20, Page 28
Scale: 1"=100'

TREE DATA:

NOTE:
The type/species of trees as indicated hereon are subject to revision based on site inspection by a qualified botanist or other individual with similar expertise.

A.L.T.A./A.C.S.M. LAND TITLE SURVEY

PREPARED FOR
Hinshaw & Culbertson, LLP

Section 17, Township 54 South, Range 41 East, City of Coral Gables, Miami Dade County, Florida

Schwebke-Shiskin & Associates, Inc.

This represents a "Boundary Survey"

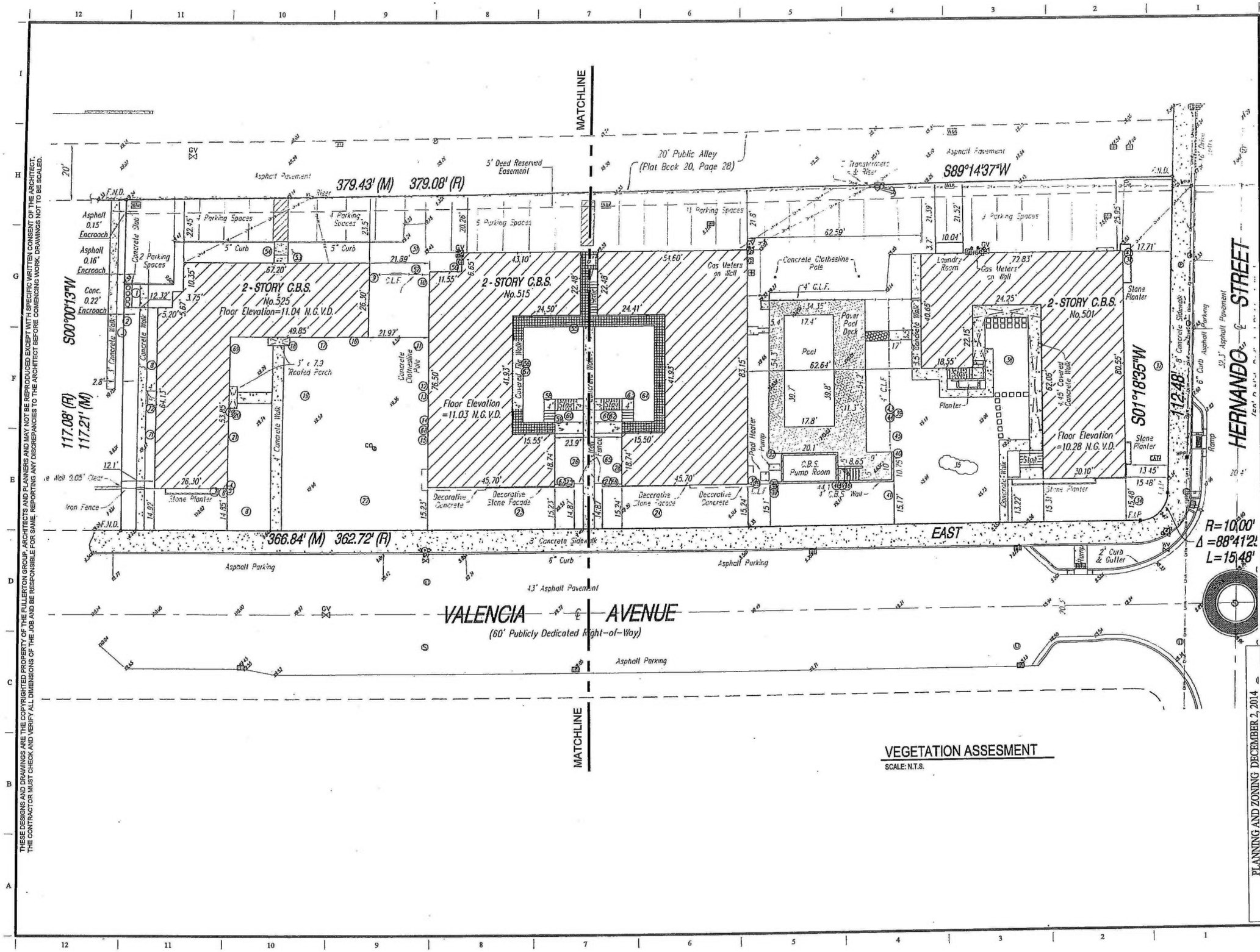
REVISIONS

AJ-4874

TREE DATA:

Tree #	Caliper Dia. (Inches)		Common Name	Latin Name	Canopy Dia (ft)	Height (feet)
1	12	multi	Arbor-Vitae	Platycladus orientalis	6	10
2	10		Queen Palm	Arecastrum romanzoffianum	12	10
3	28		[redacted]	Quercus virginiana	30	30
4	4		Alexandra Palm	Archontophoenix alexandrae	6	8
5	4		Alexandra Palm	Archontophoenix alexandrae	6	5
6	4 (x2)		Alexandra Palm	Archontophoenix alexandrae	6	4,20
7	4		Alexandra Palm	Archontophoenix alexandrae	6	6
8	4		Alexandra Palm	Archontophoenix alexandrae	8	6
9	4		Alexandra Palm	Archontophoenix alexandrae	8	16
10	3 (x4)		Alexandra Palm	Archontophoenix alexandrae	8	4 to 12
11	4		Alexandra Palm	Archontophoenix alexandrae	8	20
12	4 (x2)		Alexandra Palm	Archontophoenix alexandrae	6	6,18
13	3 (x3)		Alexandra Palm	Archontophoenix alexandrae	6	4 to 18
14	4		Alexandra Palm	Archontophoenix alexandrae	8	6
15	4		Alexandra Palm	Archontophoenix alexandrae	8	6
16	4		Alexandra Palm	Archontophoenix alexandrae	6	12
17	4		Alexandra Palm	Archontophoenix alexandrae	6	10
18	4		Alexandra Palm	Archontophoenix alexandrae	8	8
19	4		Alexandra Palm	Archontophoenix alexandrae	8	20
20	2		Alexandra Palm	Archontophoenix alexandrae	6	4
21	4 (x3)		Alexandra Palm	Archontophoenix alexandrae	6	16
22	48		Unknown	Unknown	36	28
23	4		Alexandra Palm	Archontophoenix alexandrae	8	18
24	4		Alexandra Palm	Archontophoenix alexandrae	8	20
25	4		Alexandra Palm	Archontophoenix alexandrae	8	18
26	6		Wax Leaf Privet	Ligustrum japonicum	8	6
27	4		Alexandra Palm	Archontophoenix alexandrae	8	20
28	4		Alexandra Palm	Archontophoenix alexandrae	8	18
29	4		Alexandra Palm	Archontophoenix alexandrae	6	20
30	4		Alexandra Palm	Archontophoenix alexandrae	6	20
31	60	multi	Strangler Fig around Rubber Tree	Ficus Aurea wrArchontophoenix alexandraeping Ficus Decora	60	36
32	4		Alexandra Palm	Archontophoenix alexandrae	8	8
33	4		Alexandra Palm	Archontophoenix alexandrae	6	24
34	32		[redacted]	Delonix regia	60	30
35	2-4 (x12)	cluster	Alexandra Palm	Archontophoenix alexandrae	6	4-12
36	2 (x9)	cluster	Alexandra Palm	Archontophoenix alexandrae	6	6-10
37	12	multi	Weeping Fig	Ficus benjamina	6	6
38	4		Alexandra Palm	Archontophoenix alexandrae	6	12
39	72	multi	Schefflera	Brassia actinophylla	36	24
40	28	multi	Schefflera	Brassia actinophylla	20	24
41	20	multi	Franjipani	Plumeria rubra	24	16
42	4		Alexandra Palm	Archontophoenix alexandrae	6	5
43	4		Alexandra Palm	Archontophoenix alexandrae	6	20
44	4		Alexandra Palm	Archontophoenix alexandrae	6	20
45	4		Alexandra Palm	Archontophoenix alexandrae	8	20
46	2		Alexandra Palm	Archontophoenix alexandrae	6	3
47	4		Alexandra Palm	Archontophoenix alexandrae	6	5
48	2		Alexandra Palm	Archontophoenix alexandrae	6	4
49	4		Alexandra Palm	Archontophoenix alexandrae	6	12
50	4		Alexandra Palm	Archontophoenix alexandrae	8	12
51	4		Alexandra Palm	Archontophoenix alexandrae	8	18
52	2-4 (X4)	cluster	Alexandra Palm	Archontophoenix alexandrae	8	4-14
53	4		Queen Palm	Arecastrum romanzoffianum	6	4
54	4		Alexandra Palm	Archontophoenix alexandrae	6	4
55	4		Alexandra Palm	Archontophoenix alexandrae	6	4
56	4		Alexandra Palm	Archontophoenix alexandrae	6	4
57	4		Alexandra Palm	Archontophoenix alexandrae	6	4
58	4 (x3)	cluster	Alexandra Palm	Archontophoenix alexandrae	8	6-10
59	4		Alexandra Palm	Archontophoenix alexandrae	8	8
60	4		Alexandra Palm	Archontophoenix alexandrae	8	18
61	4		Alexandra Palm	Archontophoenix alexandrae	8	18
62	4		Alexandra Palm	Archontophoenix alexandrae	8	18
63	4		Alexandra Palm	Archontophoenix alexandrae	8	10
64	4		Alexandra Palm	Archontophoenix alexandrae	8	6
65	16	multi	Wax Leaf Privet	Ligustrum japonicum	12	10
66	4		Alexandra Palm	Archontophoenix alexandrae	8	16
67	3		Alexandra Palm	Archontophoenix alexandrae	8	6
68	4		Bougainvillea	BOUG	6	5
69	2		Alexandra Palm	Archontophoenix alexandrae	6	4
70	2		Alexandra Palm	Archontophoenix alexandrae	6	5
71	4		Alexandra Palm	Archontophoenix alexandrae	6	4
72	4		Alexandra Palm	Archontophoenix alexandrae	6	4

NOTE:
The type/species of trees as indicated hereon are subject to revision based on site inspection by a qualified botanist or other individual with similar expertise.



VEGETATION ASSESMENT

SCALE: N.T.S.

PLANNING AND ZONING DECEMBER 2, 2014

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THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMENCING WORK. DRAWINGS NOT TO BE SCALED.

AA C000597

THE FULLERTON GROUP

ARCHITECTURE DEVELOPMENT CONSULTING INTERIOR DESIGN LAND PLANNING

515 Valencia

515 Valencia Avenue Coral Gables, Florida 33134

Property Owner
TM Residential Group, LLC
Suite 410
2665 South Bayshore Drive
Coconut Grove, FL 33133
305-854-2552

NO	DESCRIPTION:	DATE:

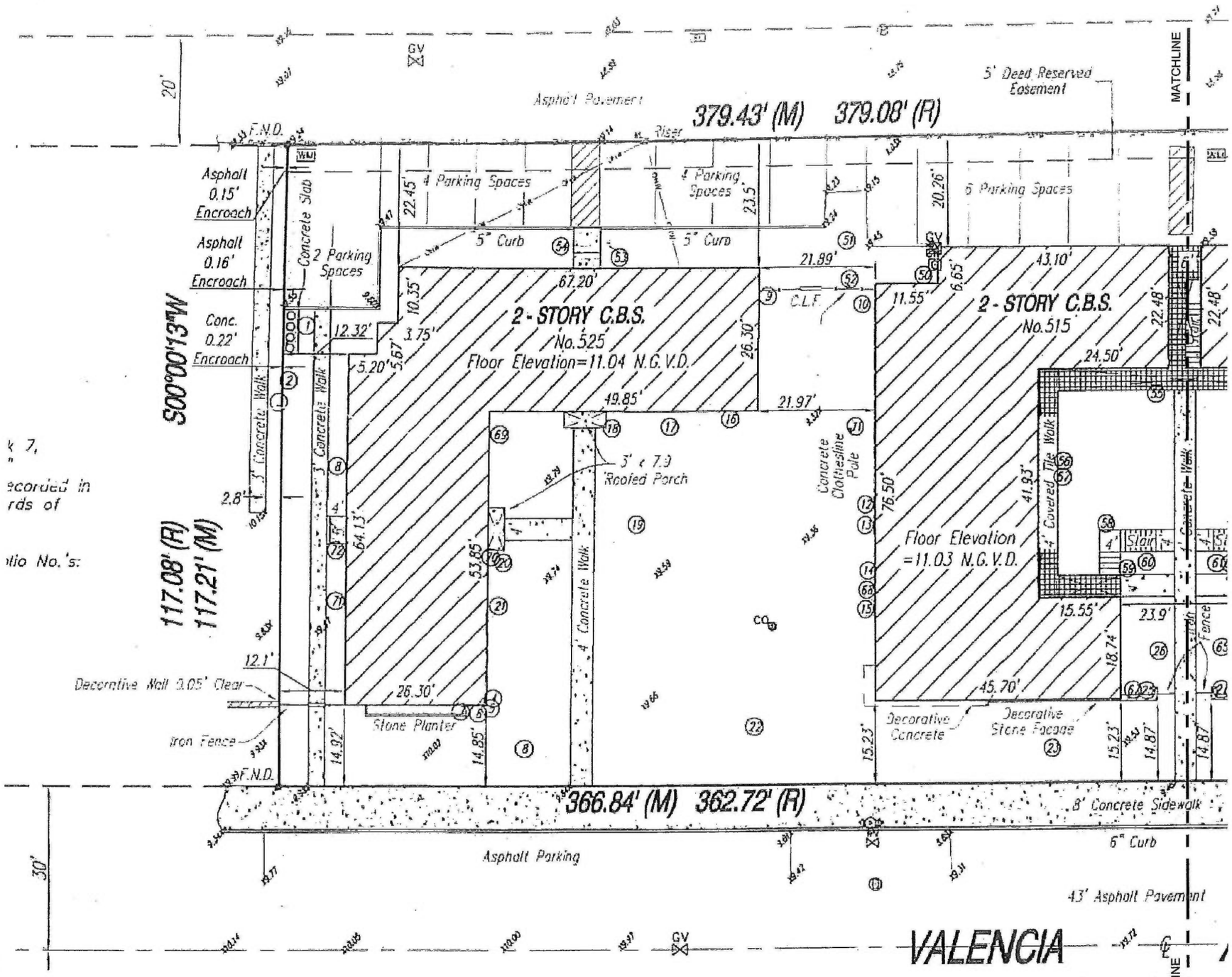
DRAWING HISTORY:

PROJECT NUMBER: 20502.08

REGISTRATION: AA C000597

☐ JOHN F. FULLERTON - AR 4743

SHEET NUMBER:



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AA C000597

THE FULLERTON GROUP
ARCHITECTURE DEVELOPMENT CONSULTING INTERIOR DESIGN LAND PLANNING
396 Alhambra Avenue | Coral Gables, FL 33134 | 305.443.0050 (T) | 305.443.0051 (F)

515 Valencia

515 Valencia Avenue Coral Gables, Florida 33134

Property Owner
TM Residential Group, LLC
Suite 410
2665 South Bayshore Drive
Coconut Grove, FL 33133
305-854-2552

NO.	DESCRIPTION:	DATE:

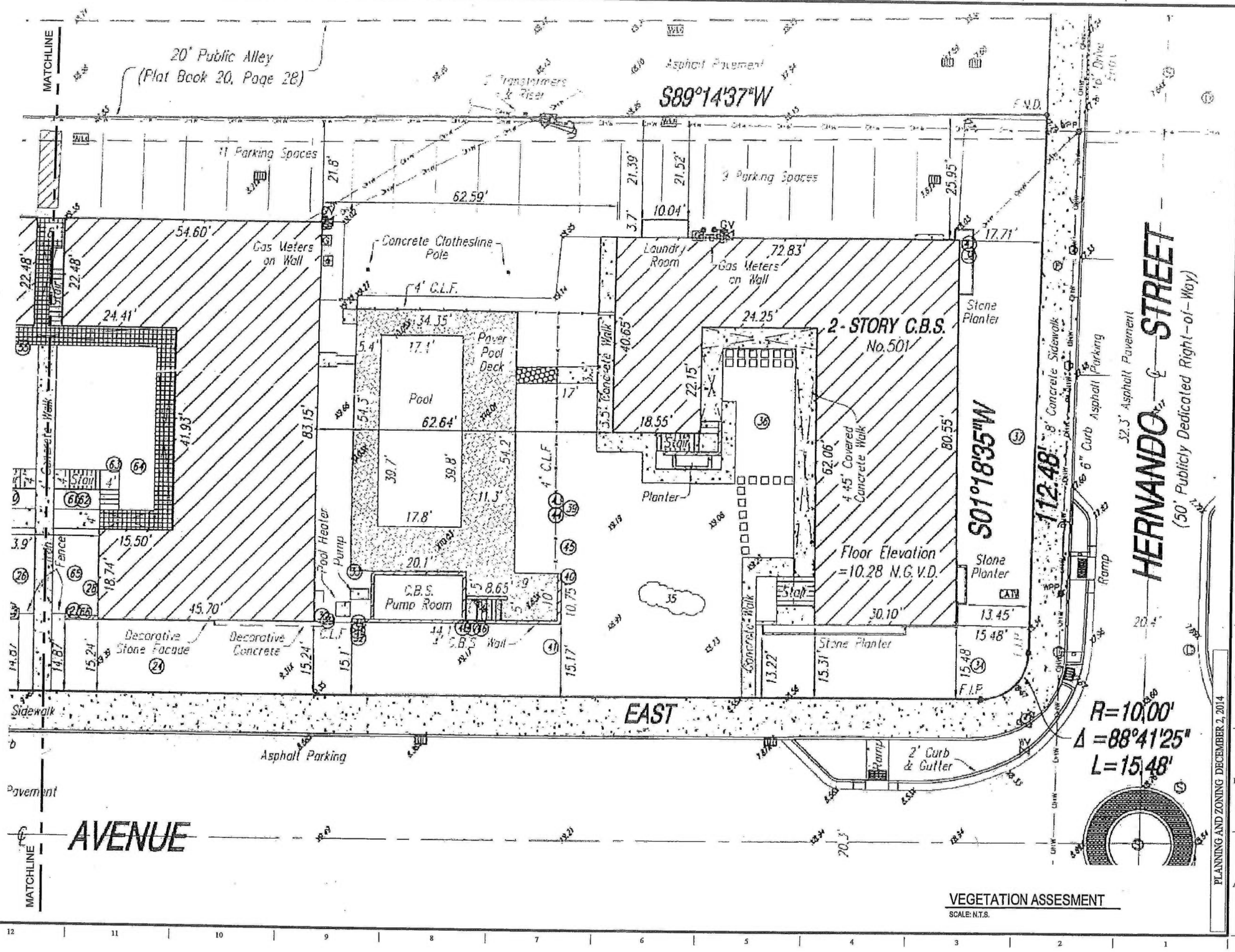
DRAWING HISTORY:

PROJECT NUMBER: 20802.08

REGISTRATION: AA C000597

JOHN P. FULLERTON - AR 4743

SHEET NUMBER:



VEGETATION ASSESMENT

SCALE: N.T.S.

PLANNING AND ZONING DECEMBER 2, 2014

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AA C000597

THE FULLERTON GROUP

ARCHITECTURE | DEVELOPMENT CONSULTING | INTERIOR DESIGN | LAND PLANNING

515 Valencia

515 Valencia Avenue Coral Gables, Florida 33134

Property Owner
TM Residential Group, LLC
Suite 410
2665 South Bayshore Drive
Coconut Grove, FL 33133
305-854-2552

NO	DESCRIPTION:	DATE:

DRAWING HISTORY:

PROJECT NUMBER: 70802.08

REGISTRATION: AA C000597

JOHN P. FULLERTON - AR 4743

SHEET NUMBER:

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AERIAL LOOKING NORTHEAST

Scale: N. T. S.

B.O.A. PRESENTATION

AA C000597

THE FULLERTON GROUP
ARCHITECTURE DEVELOPMENT CONSULTING INTERIOR DESIGN LAND PLANNING
366 Altara Avenue | Coral Gables, FL 33146 | 305.442.4200 (T) | 305.444.6662 (F)

515 Valencia

515 Valencia Avenue Coral Gables, Florida 33134

NO.	DESCRIPTION:	DATE:
1	ZONING REV.	07/07/15
2	ZONING REV.	07/17/15
	-	-

DRAWING HISTORY:

PROJECT NUMBER: 20802.08

REGISTRATION: AA C000597

☐ JOHN P. FULLERTON - AR 4743

SHEET NUMBER:

A-5

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AERIAL LOOKING NORTH

Scale: N. T. S.

B.O.A. PRESENTATION

AA C000597

THE FULLERTON GROUP
ARCHITECTURE DEVELOPMENT CONSULTING INTERIOR DESIGN LAND PLANNING
366 Altara Avenue | Coral Gables, FL 33146 | 305.442.4200 (T) | 305.444.6962 (F)

515 Valencia

515 Valencia Avenue Coral Gables, Florida 33134

NO.	DESCRIPTION:	DATE:
1	ZONING REV.	07/07/15
2	ZONING REV.	07/17/15

DRAWING HISTORY:

PROJECT NUMBER: 20802.08

REGISTRATION: AA C000597

☐ JOHN P. FULLERTON - AR 4743

SHEET NUMBER:

A-6

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SITE PHOTO - 1
Scale: N. T. S.

B.O.A. PRESENTATION

NO.	DESCRIPTION:	DATE:
1	ZONING REV.	07/07/15
2	ZONING REV.	07/17/15

DRAWING HISTORY:

PROJECT NUMBER: 20802.08

REGISTRATION: AA C000597

☐ JOHN P. FULLERTON - AR 4743

SHEET NUMBER:

A-2

515 Valencia

515 Valencia Avenue Coral Gables, Florida 33134

THE FULLERTON GROUP
ARCHITECTURE DEVELOPMENT CONSULTING INTERIOR DESIGN LAND PLANNING
300 Alcazar Avenue | Coral Gables, FL 33146 | 305.442.6300 (T) | 305.444.0900 (F)
AA C000597

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SITE PHOTO - 2

Scale: N. T. S.

B.O.A. PRESENTATION

NO.	DESCRIPTION:	DATE:
1	ZONING REV.	07/07/15
2	ZONING REV.	07/17/15

DRAWING HISTORY:

PROJECT NUMBER: 20802.08

REGISTRATION: AA C000597

JOHN P. FULLERTON - AR 4743

SHEET NUMBER: A-3

515 Valencia

515 Valencia Avenue Coral Gables, Florida 33134

THE FULLERTON GROUP
ARCHITECTURE DEVELOPMENT CONSULTING INTERIOR DESIGN LAND PLANNING
300 Alcazar Avenue | Coral Gables, FL 33146 | 305.442.4200 (T) | 305.444.0902 (F)
AA C000597

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SITE PHOTO - 3
Scale: N.T.S.

B.O.A. PRESENTATION

NO.	DESCRIPTION:	DATE:
1	ZONING REV.	07/07/15
2	ZONING REV.	07/17/15

DRAWING HISTORY:

PROJECT NUMBER: 20802.08

REGISTRATION: AA C000597

☐ JOHN P. FULLERTON - AR 4743

SHEET NUMBER:

A-4

515 Valencia

515 Valencia Avenue Coral Gables, Florida 33134

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AA C000597

515 VALENCIA

CORAL GABLES, FLORIDA 33134

PRELIMINARY SET

DEVELOPER

TM Residential, LLC
Suite 410
2665 South Bayshore,
Coconut Grove, Florida 33133
Ph (305) 854-2552

THE FULLERTON GROUP

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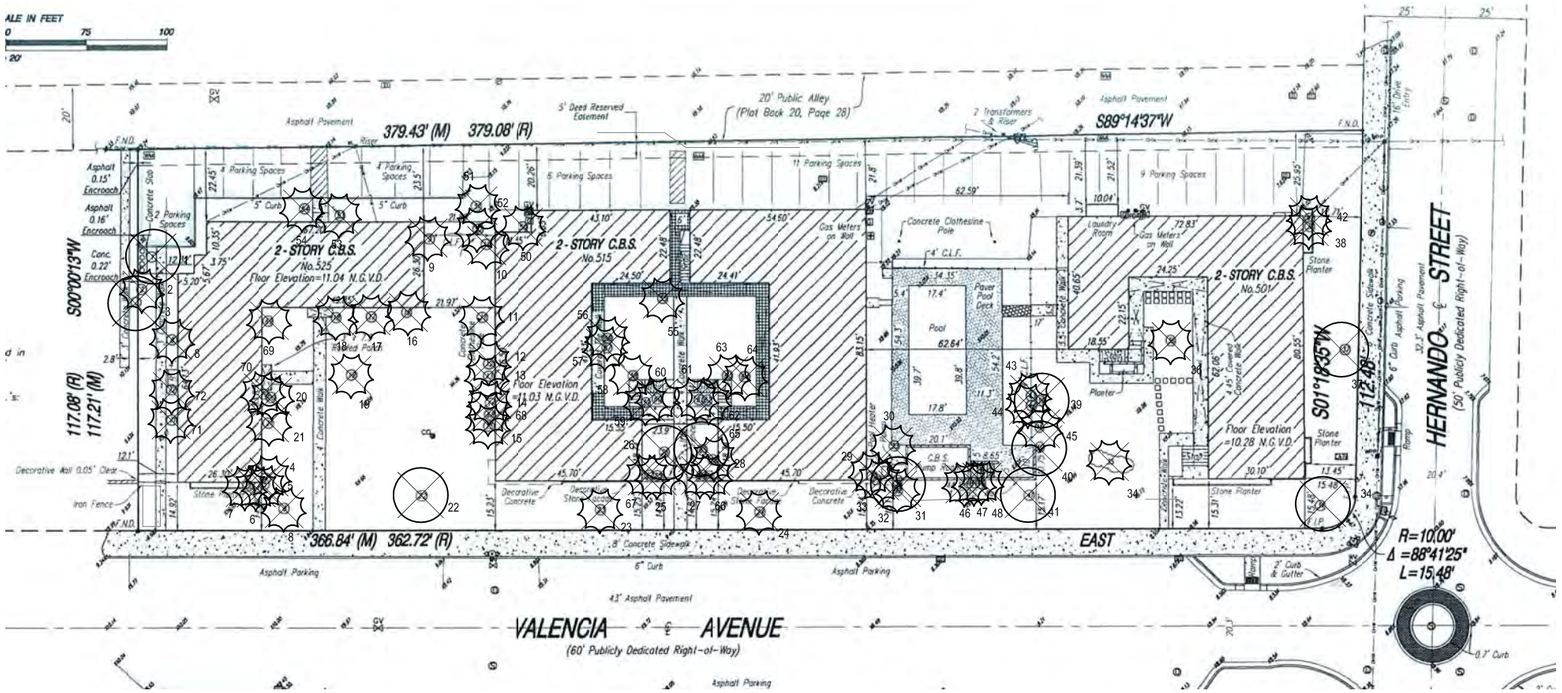

1 TREE DISPOSITION

Scale: 1" = 20'-0"

0 10 20 40 60

SCALE IN FEET

NORTH

TREE DISPOSITION LIST							
NUMBER	DBH	COMMON NAME	SCIENTIFIC NAME	CANOPY-DIA	HEIGHT-FT	ACTION	MITIGATION-SF
1	12	Multi- Arbor Vitae	Platycladus orientalis	6	10	Remove	29
2	10	Queen Palm	Syagrus romanzoffiana	12	10	Remove	114
3	23	Live Oak	Quercus virginiana	30	30	Remove	707
4	4	Alexandra Palm	Archontophoenix alexandrae	6	6	Remove	29
5	4	Alexandra Palm	Archontophoenix alexandrae	6	5	Remove	29
6	4,4	Alexandra Palm	Archontophoenix alexandrae	6	4,20	Remove	58
7	4	Alexandra Palm	Archontophoenix alexandrae	6	6	Remove	29
8	4	Alexandra Palm	Archontophoenix alexandrae	5	6	Remove	20
9	4	Alexandra Palm	Archontophoenix alexandrae	5	16	Remove	20
10	3,3,3	Alexandra Palm	Archontophoenix alexandrae	5	4 to 12	Remove	60
11	4	Alexandra Palm	Archontophoenix alexandrae	6	20	Remove	29
12	4,4	Alexandra Palm	Archontophoenix alexandrae	6	6,18	Remove	58
13	3,3,3	Alexandra Palm	Archontophoenix alexandrae	6	4 to 18	Remove	87
14	4	Alexandra Palm	Archontophoenix alexandrae	6	6	Remove	29
15	4	Alexandra Palm	Archontophoenix alexandrae	6	6	Remove	29
16	4	Alexandra Palm	Archontophoenix alexandrae	6	12	Remove	29
17	4	Alexandra Palm	Archontophoenix alexandrae	6	10	Remove	29
18	4	Alexandra Palm	Archontophoenix alexandrae	6	3	Remove	29
19	4	Alexandra Palm	Archontophoenix alexandrae	6	20	Remove	29
20	2	Alexandra Palm	Archontophoenix alexandrae	6	4	Remove	29
21	4,4,4	Alexandra Palm	Archontophoenix alexandrae	6	16	Remove	29
22	48	Mango	Magnifera spp	38	25	Remove	1134
23	4	Alexandra Palm	Archontophoenix alexandrae	6	18	Remove	29
24	4	Alexandra Palm	Archontophoenix alexandrae	6	20	Remove	29
25	4	Alexandra Palm	Archontophoenix alexandrae	6	18	Remove	29
26	6	Wax Privet	Ligustrum japonicum	6	6	Remove	29
27	4	Alexandra Palm	Archontophoenix alexandrae	6	20	Remove	29
28	4	Alexandra Palm	Archontophoenix alexandrae	6	18	Remove	29
29	4	Alexandra Palm	Archontophoenix alexandrae	6	20	Remove	29
30	4	Alexandra Palm	Archontophoenix alexandrae	6	20	Remove	29
31	60	Ficus and Rubber Tree	Ficus spp. w/Ficus decora	60	36	Remove	2826
32	4	Alexandra Palm	Archontophoenix alexandrae	8	4	Remove	51
33	4	Alexandra Palm	Archontophoenix alexandrae	6	24	Remove	29
34	32	Royal Poinciana	Delonix regia	60	30	Remain	2826
35	2-4(x12)	Alexandra Palm	Archontophoenix alexandrae	6	4-12	Remove	29
36	2(x9)	Alexandra Palm	Archontophoenix alexandrae	6	6-10	Remove	29
37	12	Weeping Fig	Ficus benjamina	6	6	Remove	29
38	4	Alexandra Palm	Archontophoenix alexandrae	6	12	Remove	29
39	72	Umbrella Tree	Schefflera actinophylla	36	24	Remove	Prohibited
40	28	Umbrella Tree	Schefflera actinophylla	20	24	Remove	Prohibited
41	20	Franjipani	Plumeria rubra	24	16	Remove	453
42	4	Alexandra Palm	Archontophoenix alexandrae	6	5	Remove	29
43	4	Alexandra Palm	Archontophoenix alexandrae	6	20	Remove	29
44	4	Alexandra Palm	Archontophoenix alexandrae	6	20	Remove	29
45	4	Alexandra Palm	Archontophoenix alexandrae	6	20	Remove	29
46	2	Alexandra Palm	Archontophoenix alexandrae	6	3	Remove	29
47	4	Alexandra Palm	Archontophoenix alexandrae	6	3	Remove	29
48	2	Alexandra Palm	Archontophoenix alexandrae	6	4	Remove	29
49	4	Alexandra Palm	Archontophoenix alexandrae	6	12	Remove	29
50	4	Alexandra Palm	Archontophoenix alexandrae	6	12	Remove	29
51	4	Alexandra Palm	Archontophoenix alexandrae	6	18	Remove	29
52	2-4(x12)	Alexandra Palm	Archontophoenix alexandrae	6	4-14	Remove	29
53	4	Queen Palm	Syagrus romanzoffiana	6	4	Remove	29
54	4	Alexandra Palm	Archontophoenix alexandrae	6	4	Remove	29
55	4	Alexandra Palm	Archontophoenix alexandrae	6	4	Remove	29
56	4	Alexandra Palm	Archontophoenix alexandrae	6	6-10	Remove	29
57	4	Alexandra Palm	Archontophoenix alexandrae	6	8	Remove	29
58	4	Alexandra Palm	Archontophoenix alexandrae	6	18	Remove	29
59	4	Alexandra Palm	Archontophoenix alexandrae	6	18	Remove	29
60	4	Alexandra Palm	Archontophoenix alexandrae	6	18	Remove	29
61	4	Alexandra Palm	Archontophoenix alexandrae	6	10	Remove	29
62	4	Alexandra Palm	Archontophoenix alexandrae	6	6	Remove	29
63	4	Alexandra Palm	Archontophoenix alexandrae	6	6	Remove	29
64	4	Alexandra Palm	Archontophoenix alexandrae	6	16	Remove	29
65	16	Wax Privet	Ligustrum japonicum	12	10	Remove	114
66	4	Alexandra Palm	Archontophoenix alexandrae	6	5	Remove	29
67	3	Alexandra Palm	Archontophoenix alexandrae	6	4	Remove	29
68	4	Bouganvillea	Bouganvillea spp.	6	5	Remove	29
69	2	Alexandra Palm	Archontophoenix alexandrae	6	4	Remove	29
70	2	Alexandra Palm	Archontophoenix alexandrae	6	4	Remove	29
71	4	Alexandra Palm	Archontophoenix alexandrae	6	4	Remove	29
72	4	Alexandra Palm	Archontophoenix alexandrae	6	4	Remove	29

MITIGATION CALCULATIONS

Total SF of canopy to be removed = 10,152 SF
Proposed canopy for mitigation:
18 Hardwood trees with minimum height of 12' (500 SF each) = 9,000 SF
25 Palms with 10' clear trunk (300 SF each) = 7,500 SF
Total SF of canopy proposed = 16,500 SF

NOTE:
Tree #3 cannot remain as it is too close to the foundations of the proposed building and would become unstable; there is no place on the site to relocate it to where it would not be damaged by construction.
Tree #34 is a Royal Poinciana tree that cannot remain as it is too close to the foundations of a proposed wall and public open space. It is also a very brittle species that is highly susceptible to storm damage, and its form is split into a double trunk near the base, which makes it highly likely to sustain storm damage and an unsuitable candidate for relocation.
Tree #22 is a Mango tree that has already sustained considerable damage and is unsuitable for relocation because of that and it's split trunk.
Tree #xx is a Ficus tree and a Rubber tree that have grown together along with a number of solitaire palms. The root structure on this tree is extensive, and its species and form make it an unsuitable candidate for relocation.

NOTE: The porposed building will incorporate almost all of the site. Therefore the existing trees cannot be saved or relocated. The owner will mitigate for the loss of these trees with replacement trees on site.

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Landscape Architecture
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THE FULLERTON GROUP
ARCHITECTURE
DEVELOPMENT CONSULTING
INTERIOR DESIGN
LAND PLANNING

VALENCIA APARTMENTS

501 VALENCIA AVENUE
CORAL GABLES , FLORIDA 33134

DEVELOPED BY:
TM REAL ESTATE GROUP, LLC
Suite 410
2665 South Bayshore Drive
Coconut Grove, FL 33133
Main: 305-854-2552
Direct: 786-567-5150
C: 786-546-2475

PROJECT NUMBER:
21120

DATE OF ISSUE:
July 28, 2015

FOR:
PLANNING & ZONING

NO.	DESCRIPTION	DATE

DRAWING HISTORY

Akita M. Curtis LA0001330
Jean C. Lee LA0001721
Jennifer Rogers-Pomarville LA6667093

TD-1

SHEET NUMBER:

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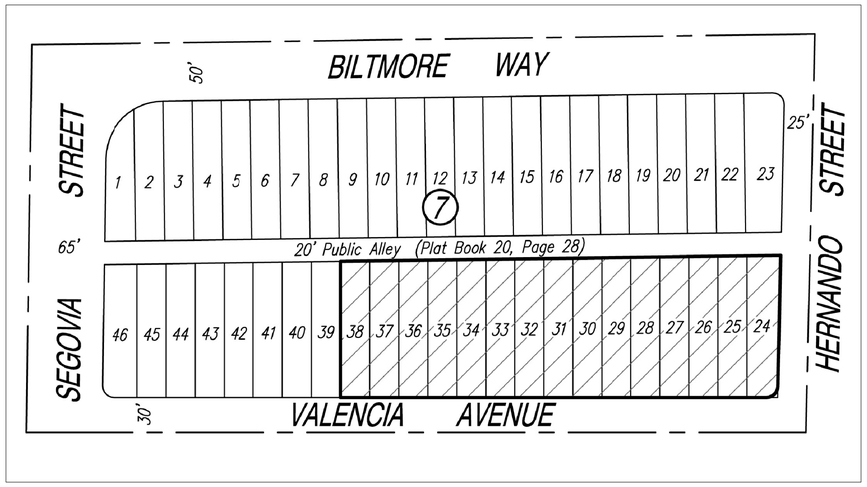
SOUTH ELEVATION

Scale: N. T. S.



SQUARE FOOTAGE

GROUND	11,453 SF
2	13,654 SF
3	14,334 SF
4	14,334 SF
5	17,712 SF
6	15,317 SF
7	12,512 SF
8	12,400 SF
9	6,107 SF
10	5,943 SF
11	5,943 SF
12	5,943 SF
TOTAL	135,652 SF

LOCATION MAP

Scale: N. T. S.

LEGAL DESCRIPTION:

Lots 24 through 38, inclusive, Block 7, "CORAL GABLES BILTMORE SECTION," according to the plat thereof, as recorded in Plat Book 20 Page 28, Public Records of Miami-Dade County, Florida.

SITE DATA LEGEND

NET SITE AREA:	45,229 S. F.	
EXISTING CLASSIFICATION:	RESIDENTIAL MULTIFAMILY HIGH DENSITY	
EXISTING ZONING DESIGNATION:	MFSA - MULTIFAMILY SPECIAL AREA DISTRICT	
PROPOSED CLASSIFICATION:	RESIDENTIAL MULTIFAMILY HIGH DENSITY	
PROPOSED ZONING DESIGNATION:	MEDTOD - MEDITERRANEAN DESIGN	
	TRANSITIONAL OVERLAY	
F.A.R. ALLOWED 2:	90,458 S. F.	
F.A.R. PROPOSED 3:	135,687 S. F.	
RESIDENTIAL AREA PROPOSED:	135,652 S. F.	
BUILDING HEIGHT:		
ALLOWED:	97'-0"	
	Site Specific Criteria per Appendix A	
	Permits building height up to 150'	
PROPOSED:	120' to roof of the last habitable	
SETBACKS:	REQUIRED	PROPOSED
	Setback requirements: No building or structure, or any part thereof, including porches, projections or terraces, but not including uncovered steps, shall be erected at a lesser distance from the front, side or rear line of any building site than the front, side or rear setback distance, respectively, prescribed and established herein for such building site.	
	Front: Buildings with a height of 45' or less. Twenty 20' Buildings with a height greater than 45'. Twenty 20', provided however, that any portion of a building which has a height of greater than 24', shall be set back an additional 10' Adjustment to front setback. In the event that there is public right of way between the edge of street pavement and the front property line of the parcel proposed for development, the required front setback shall be reduced by the distance between the edge of pavement and the front property line; provided however, that in no case shall a building be constructed within five (5) feet of the front property line.	11'-7" TO Lobby
	Sides: Interior property line and abutting alley side setback. Buildings with a height of 45' or less. 5' Buildings with a height of greater than 45'. 10', provided however, that any portion of a building which has a height of greater than 24', shall be set back an additional 10' Abutting a public street	10'
	Buildings with a height of 45' or less. 10'. Buildings with a height of greater than 45'. 10', provided however, that any portion of a building which has a height of greater than 24', shall be set back an additional 5' Rear: 10' or 5' if rear property line abuts an alley	8'-7 1/4" To Prop. Line
		0'
DENSITY:		
ALLOWED:	50 du per acre	
PROPOSED:	100 du per acre	
TOTAL UNITS:	103 DWELLING UNITS	

PARKING CALCULATIONS

RESIDENTIAL REQUIREMENTS:	1.75 Spaces per 1 and 2 Bdrm
	93 x 1.75 = 162.75 Parking Spaces
	2.25 Spaces per 3 Bdrm
	10 x 2.25 = 22.5 Parking Spaces
SUPPLEMENTAL PARKING	15% of Dwelling Units
	103 x .15 = 15.45
TOTAL PARKING REQUIRED:	201 parking spaces
TOTAL PARKING PROVIDED:	213 Parking Spaces

UNIT MIX

	1B	1B/D	2B	3B	TOTAL
GROUND	4	1	3		8
2	5	1	4		10
3	6	1	5		12
4	6	1	5		12
5	6	1	5		12
6	6		4	3	13
7	5		4	1	10
8	5		4	1	10
9	1		2	1	4
10	1		2	1	4
11	1		2	1	4
12	1		2	1	4
				TOTAL	103

B.O.A. PRESENTATION

AA C000597

THE FULLERTON GROUP
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515 Valencia

515 Valencia Avenue Coral Gables, Florida 33134

NO.	DESCRIPTION:	DATE:
1	ZONING REV.	07/07/15
2	ZONING REV.	07/17/15

DRAWING HISTORY:

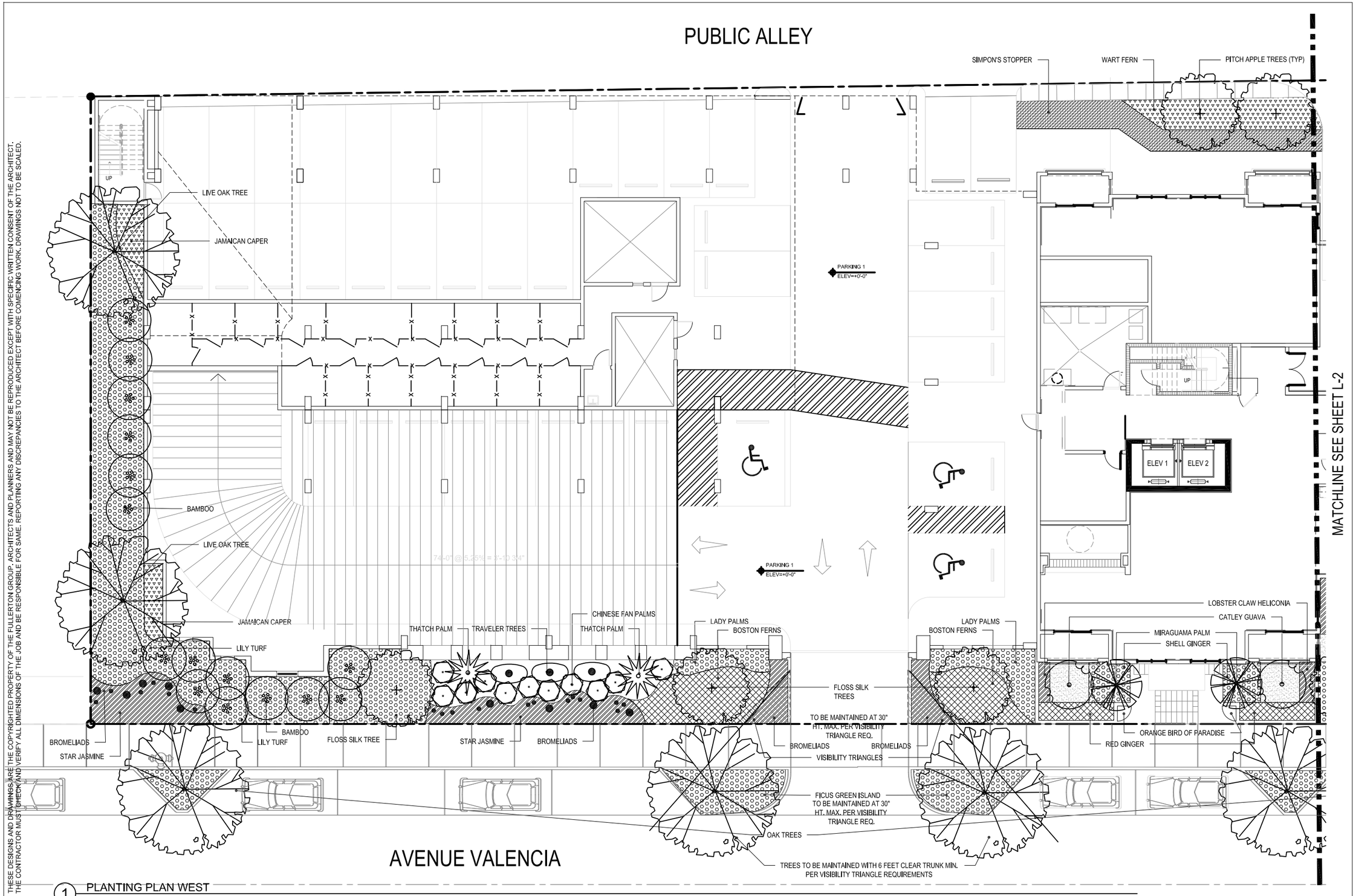
PROJECT NUMBER: 20802.08

REGISTRATION: AA C000597

☐ JOHN P. FULLERTON - AR 4743

SHEET NUMBER:

A-1



1 PLANTING PLAN WEST

Scale: 1/8" = 1'-0"

0 1/16 1/8 1/2 1

SCALE IN FEET

NORTH

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PROJECT NUMBER:
21120

DATE OF ISSUE:
July 28, 2015

FOR:
PLANNING & ZONING

NO.	REVISIONS	DATE
1		
2		
3		
4		
5		
6		

DRAWING HISTORY

- Akita M. Curtis LA0001330
- Jean C. Lee LA0001721
- Jennifer Rogers-Pomaville LA6667093

L-1

SHEET NUMBER:

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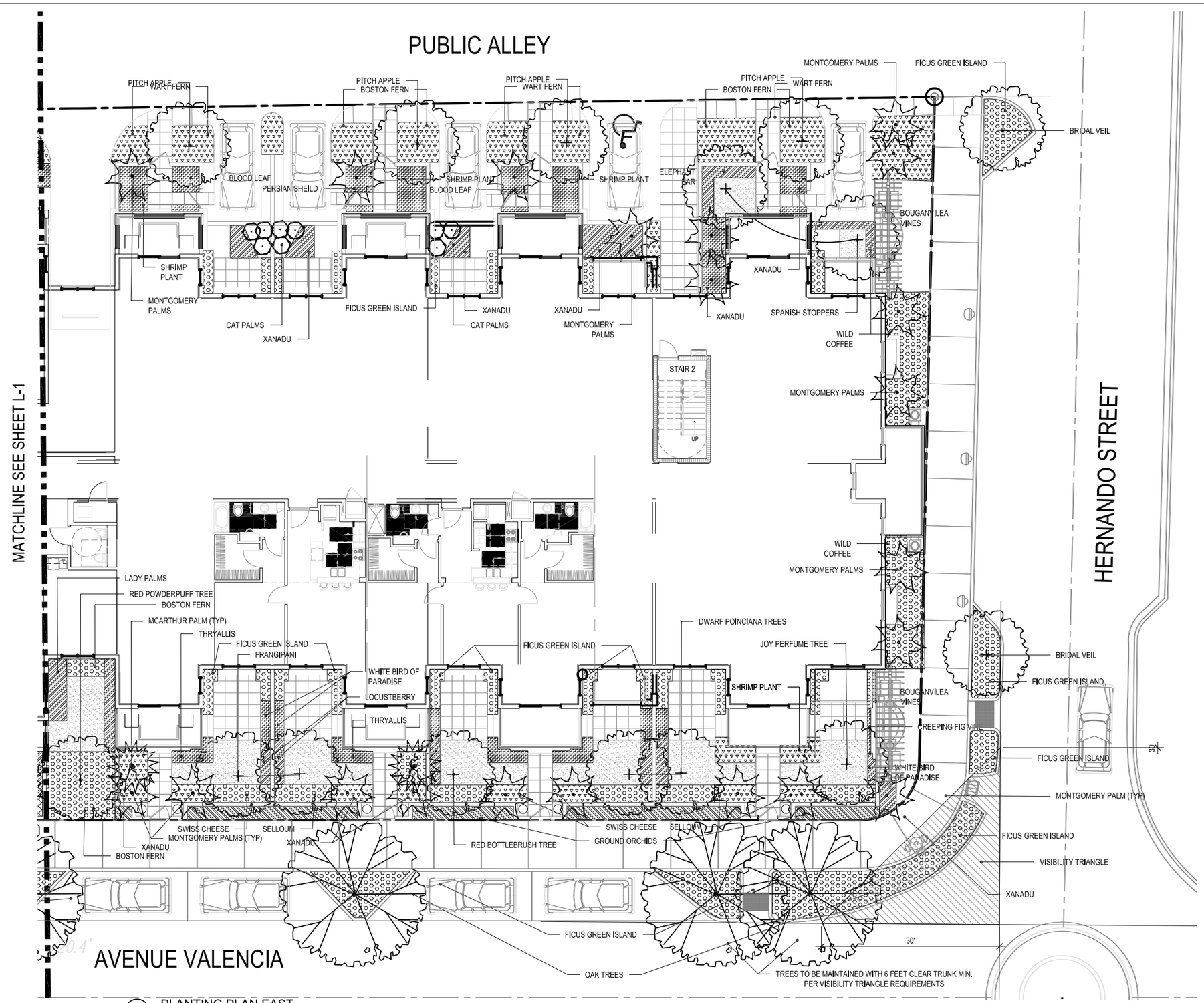

1 PLANTING PLAN EAST

Scale: 1/8" = 1'-0"

0 1/16 1/8 1/2 1

SCALE IN FEET

NORTH

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PROJECT NUMBER: 21120

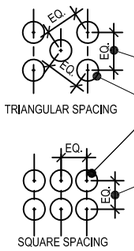
DATE OF ISSUE: July 28, 2015

ISSUE: PLANNING & ZONING

DRAWING HISTORY

Alida M. Curtis LA0001330
Jean C. Lee LA0001721
Jennifer Rogers-Pomaville LA6667093

SHEET NUMBER: L-2



NOTE:
THE TRIANGLE METHOD IS PREFERRED. USE SQUARE SPACING ONLY IN SMALL RECTILINEAR AREAS.

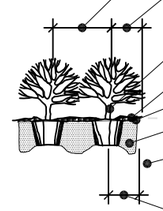
TYP. PLANT SPACING

PLANT LOCATIONS

TYP. PLANT SPACING

SHRUB AND GROUNDCOVER SPACING

Scale: 1/4"=1'-0"



TYP. PLANT SPACING AS INDICATED IN PLANT SCHEDULE

VARIES W/ PLANT SPECIES, SO THAT MATURE PLANTS WILL NOT OVER LAP ONTO PAVEMENT , GROUNDCOVERS AND/OR SOD

KEEP MULCH CLEAR FROM SHRUB STEM

2" MULCH LAYER OVER ENTIRE BED

WEED CONTROL FABRIC

PLANTING SOIL

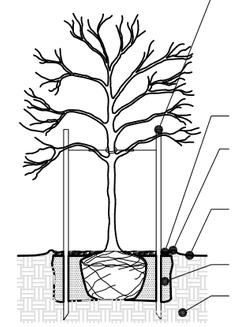
EXISTING SOIL

1 BALL DIAMETER

NOTE:
TOP OF MULCH TO BE 1/2" BELOW PAVEMENT OR SOD

SHRUB PLANTING DETAIL

Scale: 1/4"=1'-0"



2"X2" WOOD STAKES - 3 PER TREE WITH GALVANIZED WIRE AND TURNBUCKLES - PROTECT TREE WITH RUBBER HOSE

3" MULCH

BERMED SOIL DISH FOR WATER RETENTION

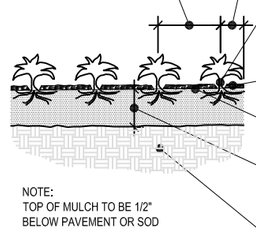
FINISH GRADE

PLANTING SOIL

EXISTING SUBGRADE

SMALL TREE PLANTING DETAIL

Scale: 1/4"=1'-0"



TYP. PLANT SPACING AS. INDICATED IN PLANT SCHEDULE

VARIES W/ PLANT SPECIES-SO THAT MATURE PLANTS WILL NOT OVERLAP ONTO CURB AND/OR SOD

KEEP MULCH CLEAR FROM GROUNDCOVER STEM

2" MULCH LAYER OVER ENTIRE BED

WEED CONTROL FABRIC AS SPECIFIED

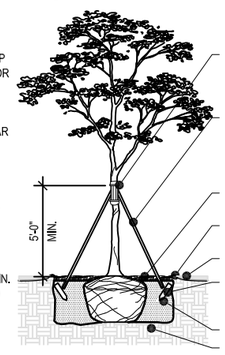
EXCAVATE TO A MIN. DEPTH OF 12" AND BACKFILL W/ PLANTING SOIL

EXISTING SOIL

NOTE:
TOP OF MULCH TO BE 1/2" BELOW PAVEMENT OR SOD

GROUNDCOVER PLANTING DETAIL

Scale: 1/4"=1'-0"



PROTECTIVE TREE BANDING 3- 2 X 4 (18" LONG), EVENLY SPACED OVER 5 LAYERS OF BURLAP PADDING AND SECURED W/ STEEL BANDING

SUPPORT STAKES (3 PER TREE) 1- 2 X 4 NAILED TO PROTECTIVE BANDING AND BOLTED TO LOWER POSTS. DO NOT NAIL TO TRUNK OF TREE

3" MULCH (KEEP CLEAR FROM TRUNK)

BERMED SOIL DISH FOR WATER RETENTION

LAWN

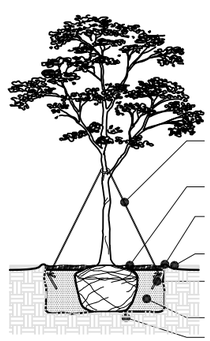
LOWER POSTS (3 PER TREE) 1-2 X 4 X 12" LONG (FLUSH OR BELOW GRADE)

PLANTING SOIL AS SPECIFIED

EXISTING SUBGRADE

LARGE TREE PLANTING DETAIL

Scale: 1/4"=1'-0"



1-1/4" BLACK WEBBING TAPE - 3 PER TREE MIN. (LOOP AROUND TRUNK OF TREE SHALL BE LOOSE)

3" MULCH (KEEP CLEAR FROM TRUNK)

BERMED SOIL DISH FOR WATER RETENTION

LAWN

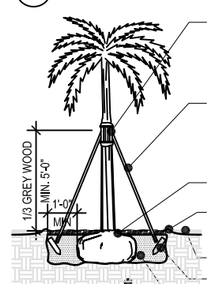
WOOD STAKE 24" LONG 3" BELOW FINISH GRADE

PLANTING SOIL AS SPECIFIED

EXISTING SUBGRADE

MEDIUM TREE PLANTING DETAIL

Scale: 1/4"=1'-0"



PROTECTIVE TREE BANDING 3- 2 X 4 (18" LONG), EVENLY SPACED OVER 5 LAYERS OF BURLAP PADDING AND SECURED W/ STEEL BANDING

SUPPORT STAKES (3 PER PALM) 1- 2 X 4 NAILED TO PROTECTIVE BANDING AND BOLTED TO LOWER POSTS. DO NOT NAIL TO TRUNK OF PALM

3" MULCH (KEEP CLEAR FROM TRUNK)

BERMED SOIL DISH FOR WATER RETENTION

LAWN

LOWER POSTS (3 PER PALM) 1-2 X 4 X 12" LONG (FLUSH OR BELOW GRADE)

PLANTING SOIL AS SPECIFIED

EXISTING SUBGRADE

PALM PLANTING DETAIL - LAWN AREA

Scale: 1/4"=1'-0"

PLANT LIST

	SYMBOL	SCIENTIFIC NAME	COMMON NAME	SPECIFICATIONS	NATIVE
LARGE TREES					
7	QV	Quercus virginiana	Live Oak	21'-24' ht. x 8'-10' sp., 6" cal., B&B	Yes
BAMBOO					
8	BA	Bambusa spp.	Bamboo	16' oa. Ht. min., FULL	No
SMALL TREES					
2	CG	Caesalpinia granadillo	Brickelwell	12' ht. x 4'-5' sp., 2-1/2" cal., B&B	No
6	CR	Clusia Rosea	Pitch Apple	12'-14' ht. x 4'-5' sp., 3" cal., B&B	Yes
2	PL	Psidium littorale	Cattley Guava	12' ht. x 4'-5' sp., 2-1/2" cal., Multi Trunk	Yes
FLOWERING TREES					
1	CH	Calliandra haematocephala	Red Powderpuff	12'-14' ht. x 6'-7' sp., 3" cal., B&B	No
2	CP	Caesalpinia pulcherrima	Dwarf Poinciana	12'-14' ht. x 6'-7' sp., 3" cal., B&B	No
4	CS	Chorisia speciosa	Floss Silk Tree	14'-16' ht. x 6'-7' sp., 3" cal., B&B	No
1	CV	Callistemon viminalis	Weeping Bottlebrush	12'-14' ht. x 6'-7' sp., 3" cal., B&B	Yes
2	MA	Michelia alba	Joy Perfume Tree	12'-14' ht. x 6'-7' sp., 3" cal., B&B	No
1	PA	Plumeria acuminata	Frangipani	12'-14' ht. x 6'-7' sp., 3" cal., Specimen	No
LARGE PALMS					
2	CM	Cocothrinax miraguama	Miraguama Palm	12' GW min., Matched	No
2	PM	Ptychosperma macarthurii	Macarthur Palm	14'-16' ht. min., 5 trunk min., 7' CT	No
3	RM	Ravenala madagascariensis	Traveler's Tree	10' CT min., Staggered	No
22	VM	Veitchia montgomeryana	Montgomery Palm	18' oa. ht., Matched	No
SMALL PALMS					
9	CC	Chamaedorea cataractarum	Cat Palm	25 gal., 6'-7' oa ht, FULL	No
11	LC	Livistona chinensis	Chinese Fan Palm	15 gal., 5'-6' oa ht., FULL	No
12	RE	Rhapis excelsa	Lady Palm	7 gal., 6' oa ht min, FULL, sun tolerant	No
2	TR	Thrinax radiata	Florida Thatch Palm	8' oa, ht.	Yes
SHRUBS					
1,500 SF	ALP	Alpinia purpurata	Red Ginger	7 gal, 36" ht. min., 30" oc	No
	ALZ	Alpinia zerumbet 'Variegata'	Shell Ginger	3 gal, 20" ht. min., 30" oc	No
	BYR	Byrsonima lucida	Locust Berry	3 gal, 24" ht. min., 24" oc	Yes
	CAP	Capparis cynophallophora	Jamaica Caper	3 gal, 24" ht. min., 24" oc	Yes
	EUG	Eugenia foetida	Spanish Stopper	3 gal, 24" ht. min., 24" oc	Yes
	GAL	Galphimia gracilis	Thryallis	3 gal, 24" ht. min., 24" oc	No
	HEL	Heliconia rostrata	Lobster Claw	7 gal, 5' ht min, AS SHOWN	No
	MON	Monstera deliciosa	Swiss Cheese	3 gal, 24" ht. min., 30" oc	No
	PAC	Pachystachys lutea	Shrimp Plant	3 gal, 24" ht. min., 24" oc	No
	PHB	Philodendron bipinnatifidum	Selloum	3 gal, 24" ht. min., 30" oc	No
	PHX	Philodendron 'Xanadu'	Xanadu	3 gal, 18" ht. min., 30" oc	No
	PSY	Psychotria nervosa	Wild Coffee	3 gal, 24" ht. min., 24" oc	Yes
	STN	Strelitzia nicolai	White Bird of Paradise	15 gal, 7' ht. min., AS SHOWN	No
	STR	Strelitzia reginae	Orange Bird of Paradise	7 gal, 30" ht. min., AS SHOWN	No
GROUNDCOVERS					
4,500 SF	COD	Codiaeum variegatum 'Banana'	Banana Croton	3 gal, 12" ht. min., 18" oc	No
	FIG	Ficus 'Green Island'	Green Island Ficus	3 gal, 12" ht. min., 18" oc	No
	MIC	Microsorum scolopendrium	Wart Fern	1 gal, 12" ht. min., 18" oc	Yes
	SPA	Spathoglottis plicata	Ground Orchid	3 gal, 18" ht. min., 18" oc	No
	IRE	Iresine herbstii 'Brilliantissima'	Blood Leaf	1 gal, 12" ht. min., 18" oc	No
	TRA	Trachelospermum jasminoides	Confederate Jasmine	3 gal, 12" ht. min., 18" oc	No
	AEC	Aechmea spp.	Large bromeliad	7 gal, 30" ht. min., AS SHOWN	No
	NEO	Neoregelia spp.	Small Bromeliad	1 gal. 8" ht. min., 18" oc	No
	PBM	Philodendron 'Burle Marx'	Burle Marx	3 gal, 12" ht. min., 18" oc	No
	SDY	Strobilanthes dyerianus	Persian Shield	1 gal, 12" ht. min., 18" oc	No
	LIR	Liriope muscari 'Evergreen Giant'	Lilly Turf	1 gal, 12" ht. min., 18" oc	No
	NEP	Nephrolepis exaltata	Boston Fern	1 gal, 12" ht. min., 18" oc	Yes

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PROJECT NUMBER: 21120

DATE OF ISSUE: July 28, 2015

FOR: PLANNING & ZONING

NO.	REVISIONS	DATE
1		
2		
3		
4		
5		

DRAWING HISTORY

Akta M. Curtis LA0001330
Jean C. Lee LA0001721
Jennifer Rogers-Pomaville LA6667093

L-3

SHEET NUMBER:

LANDSCAPE NOTES:

1. GENERAL

1.01 Before changes or substitutions can be made due to unavailability of plant material, submit evidence of having undertaken methods of locating plant material that is acceptable to the Landscape Architect.
1.02 Evidence of inadequate protection following digging, carelessness in transit, or improper storage or handling shall be cause for rejection.
1.03 The Landscape Architect shall inspect all work for Substantial Completion upon notice of completion. Upon completion and reinspection of all repairs or renewals necessary in the judgement of the Landscape Architect, the Landscape Architect will recommend to the Owner the Acceptance of the work.
1.04 Following Acceptance, maintenance of the plant material shall become the Owners responsibility. The Contractor shall provide the Owner with a typewritten recommended maintenance program at the time of Acceptance. Make periodic inspections of the Owners maintenance during the guarantee period. Submit written report to the Owner of any corrective measures required to keep the guarantee valid.
1.05 All plant material shall be guaranteed for a period of one (1) year from the time of Acceptance.
1.06 Sod shall be guaranteed for a period of 90 days from the time of Acceptance. Replacement sod under this guarantee shall be guaranteed for an additional 90 days from the date of installation. Repair any damage caused by sod replacement at no cost to the Owner.
1.07 Plants shall be healthy, free of pests and disease, and in flourishing condition at the end of the guarantee period. Plants shall be free of dead and dying branches and branch tips, and shall bear foliage of normal density, size and color.
1.08 Replace dead plants and all plants not in a vigorous, thriving condition, as determined by the Landscape Architect, during and at the end of the guarantee period, without cost to Owner, as soon as weather conditions permit and within the specified planting period.
a. Replacements shall closely match adjacent specimens of the same species. Replacements shall be subject to all requirements stated in these specifications.
b. Make all necessary repairs caused by plant replacement activities.
c. The guarantee of all replacement plants shall extend for an additional one year period from the date of their acceptance after replacement. In the event that a replacement plant is not acceptable during or at the end of the said extended guarantee period, the Owner may elect either one more replacement, without guarantee, or credit for each item.
1.09 At the end of the guarantee period, the Landscape Architect will inspect the work for Final Acceptance. Upon completion of all repairs or replacements necessary, in the judgement of the Landscape Architect, the work will be recommended for Final Acceptance by the Owner.

II PRODUCTS

2.01 All plant material shall be Florida No. 1, as specified in the Grades and Standards for Nursery Plants, 2nd edition, February 1998 - unless otherwise noted.
2.02 All plant material shall meet or exceed the size requirements as specified in the plant list. No substitutions shall be accepted without the Landscape Architect's approval.
2.03 Contractor shall schedule with Landscape Architect a time in which to view plant material in the nursery prior to installation. The Landscape architect may choose to attach its seal to each plant or to a representative sample.
2.04 Planting soil shall consist of a mixture of 80% sand and 20% muck.
2.05 Mulch shall be shredded Grade "A" Eucalyptus as manufactured by AACTION Nursery Products or approved equal.
2.06 Fertilizer for planting shall be Agriform planting tablets 20-10-5 formula, 21 gram.
2.07 Fertilizer for sod shall be granular fertilizer having a 12-6-8 analysis.
2.08 Weed control fabric shall be Pro5 Weed barrier by Dewitt or approved equal.
2.09 Sod shall be free of weeds and the roots shall be thoroughly knit to the soil. At Substantial Completion all areas shall show a uniform stand of the specified grass in a healthy condition with no visible gaps or joints. Roll sod, except on pegged areas, with roller weighing no more than 150 lbs. per foot of roller width to eliminate air pockets. Sod shall be irrigated immediately before and/or after rolling. Topdressing to fill cracks and low spots shall be repeated throughout the guarantee period as needed.

III EXECUTION

3.01 Contractor is responsible for verifying all underground utilities and obtaining the necessary clearances prior to planting.
3.02 Contractor shall examine subgrade and rough grade before planting and alert Landscape Architect of any unacceptable subgrade or rough grade.
3.03 Subgrade of planting areas shall be loosened or scarified to a minimum depth of 3 inches prior to spreading planting soil. Subgrade shall be brought to true and uniform grade and shall be cleared of stones greater than 1 inch, sticks and other extraneous material.
3.04 Individual trees, palms and shrub and groundcover bed outline areas shall be staked by the contractor in ample time to allow for inspection by Landscape Architect prior to planting.
3.05 All areas to receive planting shall be prepared with planting soil.
3.06 All areas to receive sod shall have a minimum of 2" of topsoil.
3.07 All new trees, palms, shrubs and groundcover plantings shall be amended with soil moisturizer. Soil moisturizer shall be "Terrasorb", manufactured by Industrial International or approved equal.
3.08 Soil moisturizer shall be added in the following quantities:
a. For trees and palms up to 36 inch dia. root ball: Use one 3 oz. packet
b. For trees and palms with root ball larger than 36 inch dia.: Use two 3 oz. packets
c. For bedding areas: Use one 3 oz. packet for every 20 S.F. of planting area with packets placed at 3 ft. depth, or as deep as practicable.
3.09 New trees, palms, shrubs and groundcovers shall be fertilized in accordance with manufacturers recommendations.
3.10 Sodded areas shall be fertilized with granular fertilizer at a rate of 12 lbs per 1000 S.F. of lawn and in accordance with the manufacturer's recommendations.
3.11 All planted areas are to receive a 2" layer of mulch.
3.12 Weed control fabric shall be installed as per manufacturer's recommendations.
3.13 All trees and palms shall be staked or guyed immediately after planting. Guying and staking shall be done in accordance with details and all local practices. No nails, screws or wiring shall penetrate the outer surface of the trees and palms.
3.14 Contractor shall maintain all plant material including sod until Acceptance. Maintenance shall consist of mowing, edging, pruning, watering, weeding, mulching, removal of dead material, repairing and replacing of tree stakes, tightening and repairing of guys, resetting plants to proper grades and upright position, and furnishing and applying such sprays as are necessary to keep plants free of insects and disease, and in a healthy growing condition.
3.15 The Contractor shall remove staking and guying materials according to the following schedule:
a. Palms, nine months after Substantial completion, or after hurricane season of the corresponding year which ever occurs later.
b. Trees, six months after substantial completion, or after hurricane season of the corresponding year which ever occurs later.
23. All areas within the Limit of Work and impacted by construction shall be sodded.

NOTE : Property shall be equipped with an automatic irrigation System with a rain sensor device for water conservation.

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21120

DATE OF ISSUE:
July 28, 2015

ISSUE:
PLANNING & ZONING

NO.	DATE	DESCRIPTION	BY
1			
2			
3			
4			
5			

DRAWING HISTORY

Akita M. Curtis LA0001330
Jean C. Lee LA0001721
Jennifer Rogers-Porsu-Ifin LA6667093

L-4
SHEET NUMBER:

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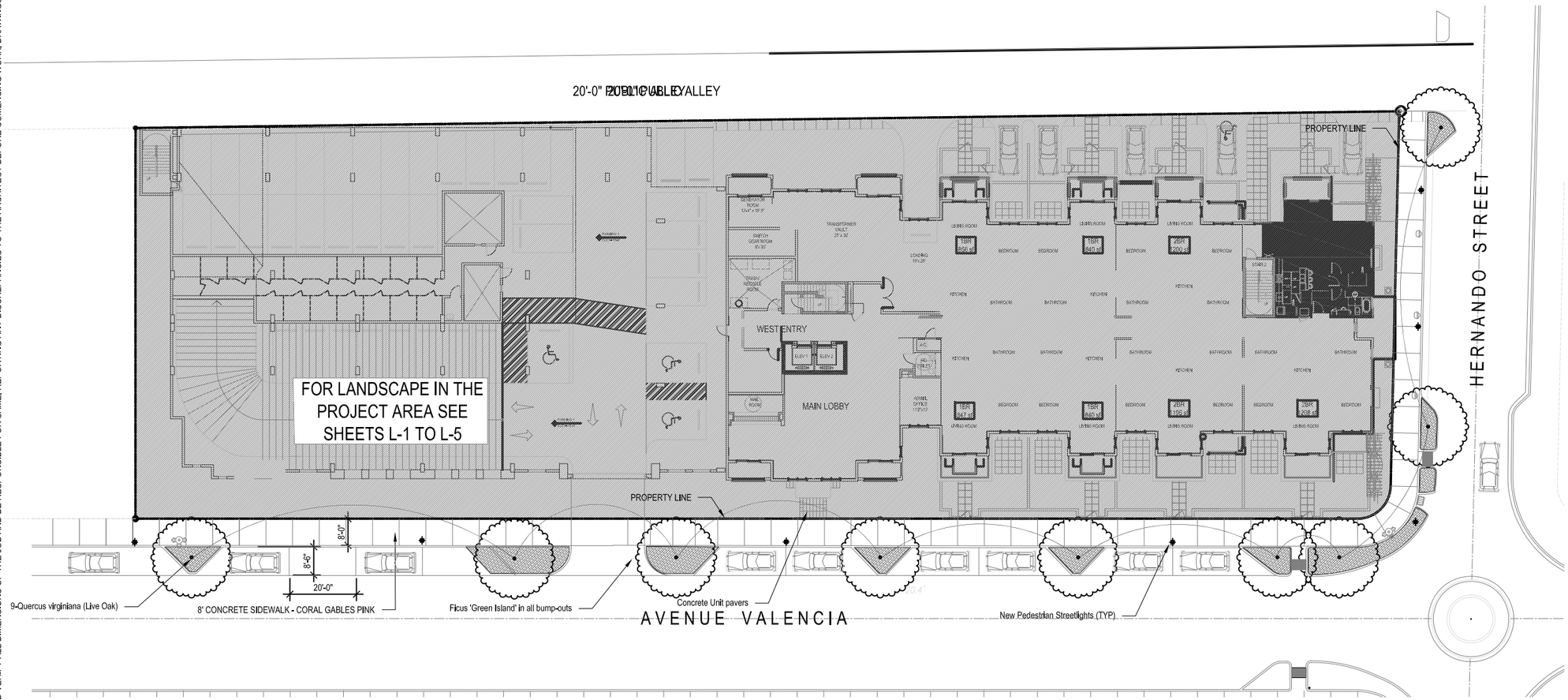

STREETSCAPE PLAN

SCALE: 1/16" = 1'-0"

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FOR: PLANNING & ZONING

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ILLUSTRATIVE LANDSCAPE CONCEPT ELEVATION

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PROJECT NUMBER:
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JULY 28, 2015

PLANNING & ZONING

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☐ JENNIFER ROGERS-POMAVILLE
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Lady Palm
Rhapis excelsa

Cat Palm
Chamaedorea cataractarum

Chinese Fan Palm
Livistona chinensis

Miraguam Palm
Cocothrinax miraguama

Thatch palm
Thrinax radiata

Macarthur palm
Ptychosperma macarthurii

Montgomery Palm
Veitchia montgomeryana

Traveler's Tree
Ravenala madagascariensis

PLANT SELECTION

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Joy Perfume Tree
Michelia alba

Bridalveil
Caesalpinia granadillo

Red Powderpuff Tree
Calliandra haematocephala

Frangipani
Plumeria acuminata

Live Oak
Quercus virginiana

Pitch Apple
Clusia rosea

Floss Silk Tree
Chorisia speciosa

Dwarf Poinciana
Caesalpinia pulcherrima

PLANT SELECTION

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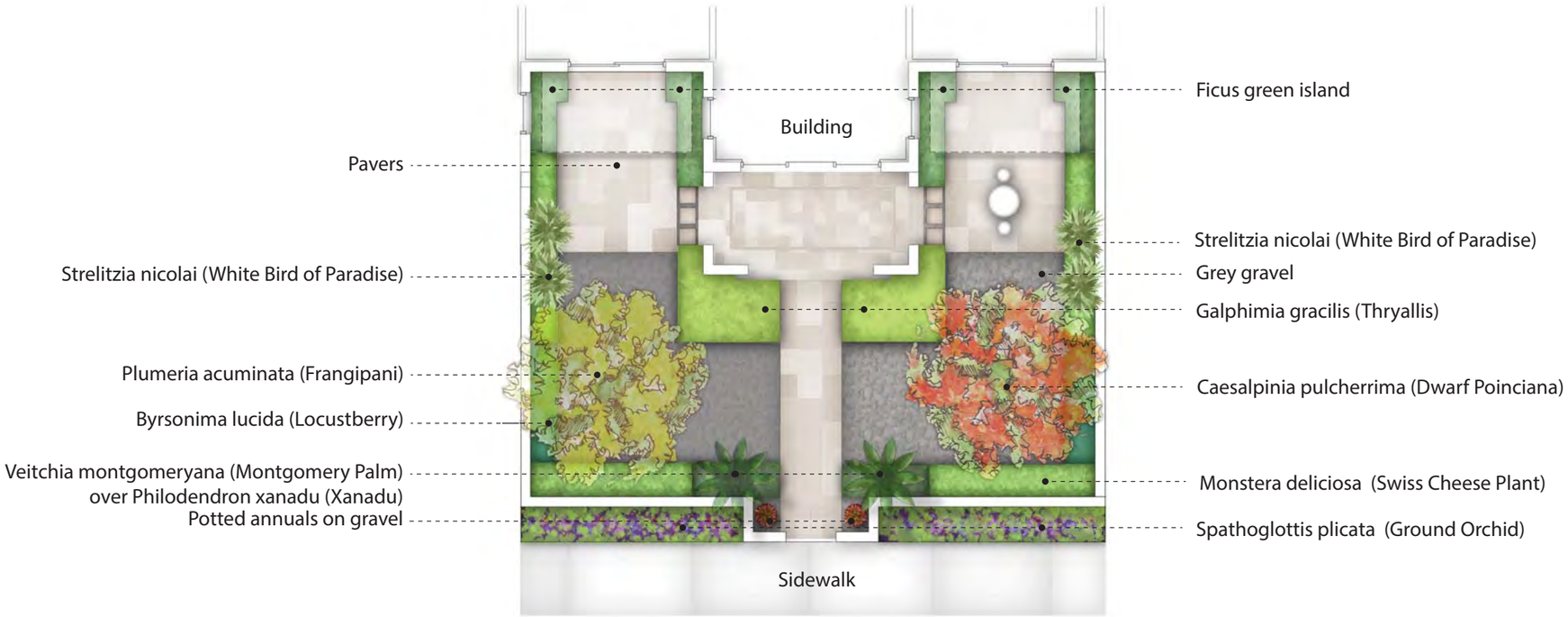
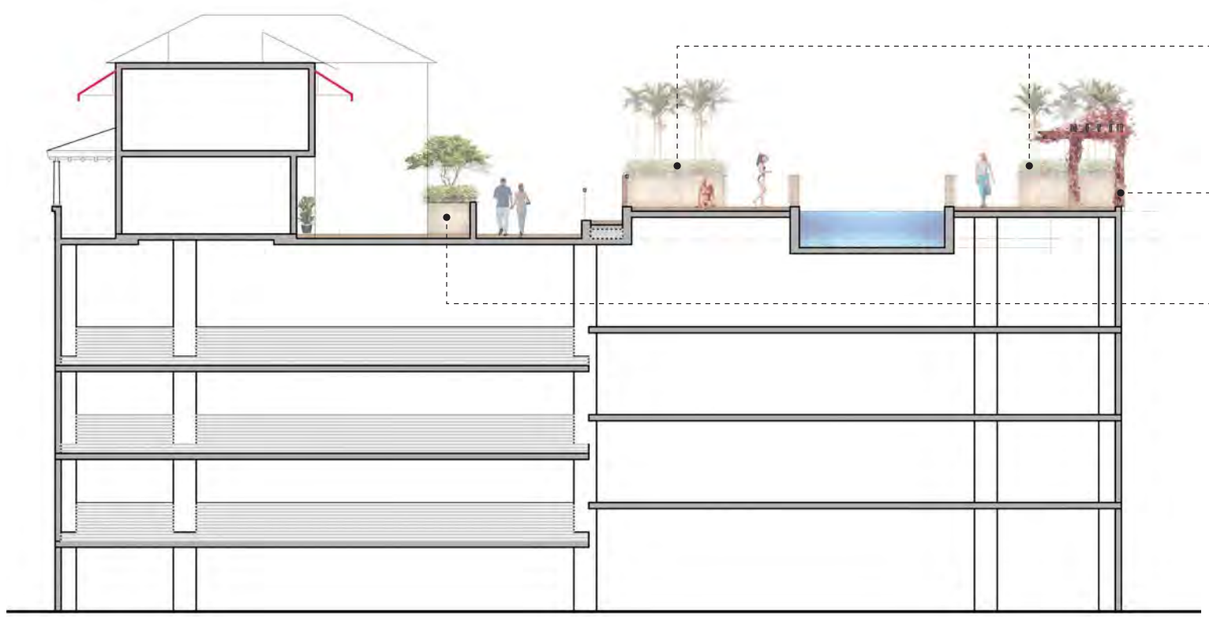


Typical Garden Planting Plan | Ground Level



Pool Deck Section | Planting

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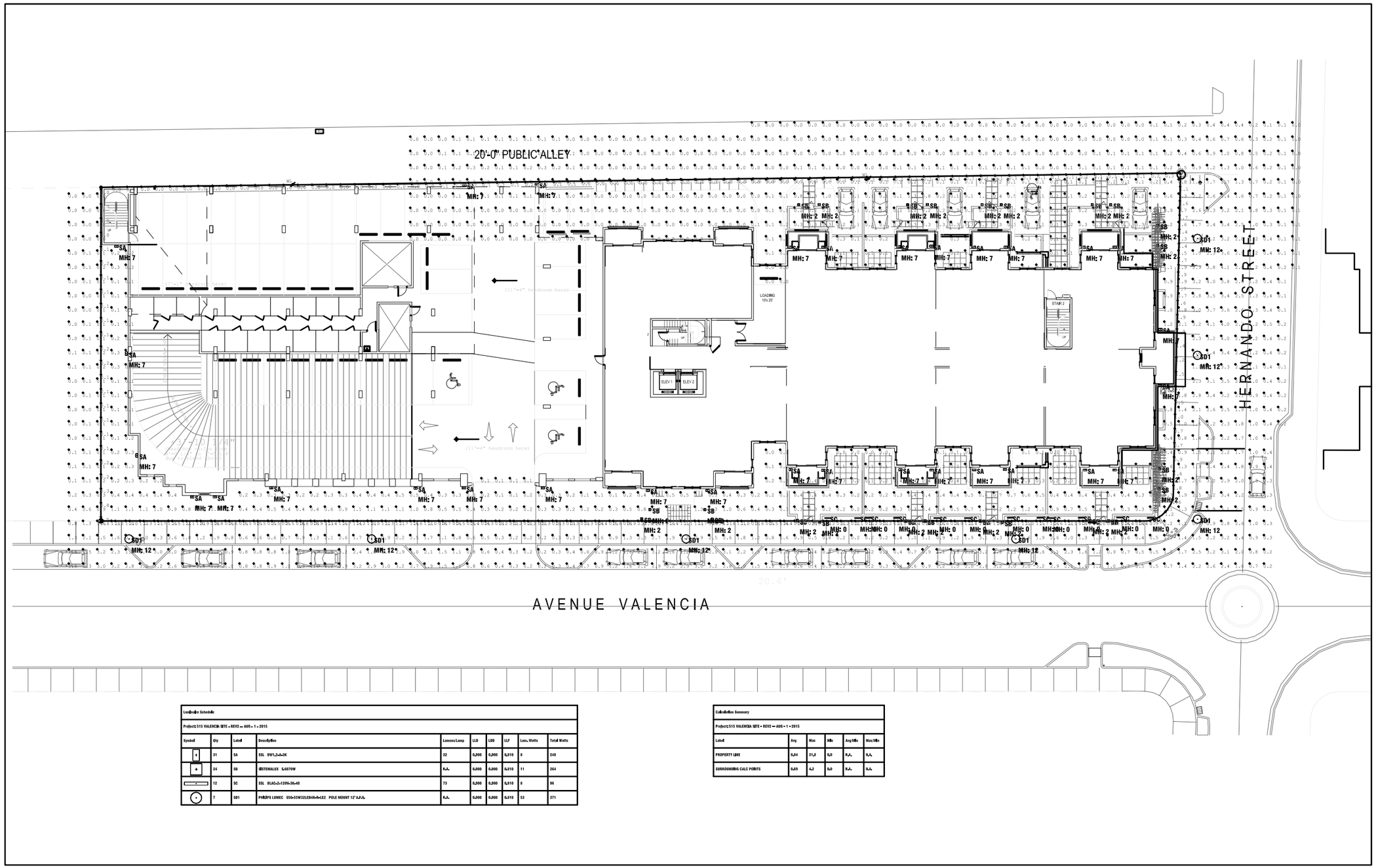

Landscape Schedule

Project: 515 VALENCIA SITE - REV2 -- AUG - 1 - 2015

Symbol	Qty	Label	Description	Lumens/Lamp	LLD	LDD	LLF	Lum. Watts	Total Watts
	31	SA	SSL DW1.2-A-3K	32	0.900	0.900	0.810	8	248
	24	SB	IRISTEMALUX S.G070W	N.A.	0.900	0.900	0.810	11	264
	12	SC	SSL BLAC-2.1209-3K-40	73	0.900	0.900	0.810	8	96
	7	SD1	PHILIPS LUMEC SS6-55W32LED4K-R-LE2 POLE MOUNT 12' A.F.G.	N.A.	0.900	0.900	0.810	53	371

Calculation Summary

Project: 515 VALENCIA SITE - REV2 -- AUG - 1 - 2015

Label	Avg	Max	Min	Avg/Min	Max/Min
PROPERTY LINE	0.04	31.0	0.0	N.A.	N.A.
SURROUNDING CALC POINTS	0.69	4.2	0.0	N.A.	N.A.

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LAND PLANNING

VALENCIA APARTMENTS

501 VALENCIA AVENUE
CORAL GABLES , FLORIDA 33134

DESIGNED BY

TM REAL ESTATE GROUP, LLC
Suite 410
2665 South Bayshore Drive
Coconut Grove, FL 33133
Main: 305-854-2552
Direct: 786-567-5150
C: 786-546-2475

PROJECT NUMBER
21120

JULY 28, 2015

PLANNING & ZONING

☐ JENNIFER ROGERS-POMAVILLE
LA6667093

SEAL

LT-1

SHEET NUMBER:

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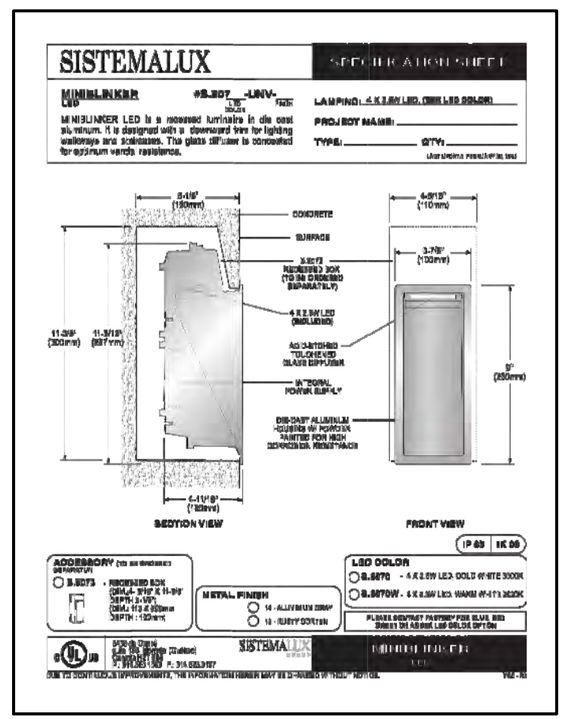
THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE COMENCING WORK. DRAWINGS NOT TO BE SCALED.

SA

SB



SC

CURTIS + ROGERS
DESIGN STUDIO INC
Landscape Architecture
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SOUTH MIAMI, FLORIDA 33143
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THE FULLERTON GROUP
ARCHITECTURE
DEVELOPMENT CONSULTING
INTERIOR DESIGN
LAND PLANNING

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PROJECT NUMBER: 21120

DATE OF ISSUANCE: July 28, 2015

PHASE: PLANNING & ZONING

DRAWING HISTORY

Aida M. Curtis LA0001330
Jean C. Lee LA0001721
Jennifer Rogers-Pomarille LA6667093

LT-2

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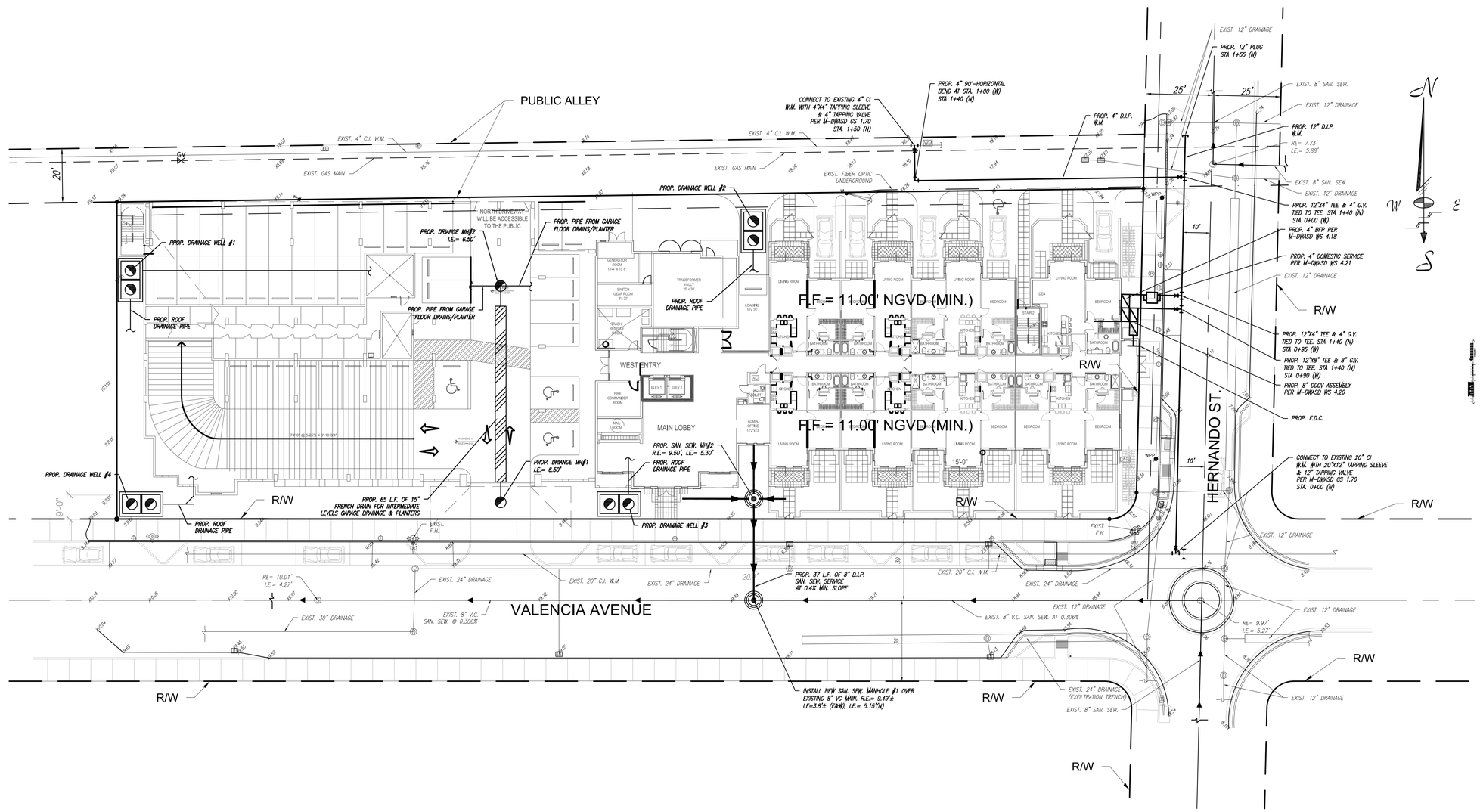
EXISTING FEATURES LEGEND:

- AERIAL TARGET
- ALUMINUM LIGHT POST
- ALUMINUM LIGHT POST (SINGLE)
- ALUMINUM LIGHT POST (DOUBLE)
- ALUMINUM LIGHT POST (TRIPLE)
- ALUMINUM LIGHT POST (QUAD)
- ANCHOR/GUY WIRE
- BACKFLOW PREVENTER ASSEMBLY
- CABLE TELEVISION BOX
- CATCH BASIN
- CENTERLINE
- CHECK VALVE ASSEMBLY
- CIRCULAR DRAIN
- COLUMN (CIRCULAR)
- COLUMN (SQUARE)
- CONCRETE LIGHT POLE
- CONCRETE LIGHT POLE (DOUBLE)
- CPP CONCRETE POWER POLE
- CONTROL POINT
- CURB INLET
- ELECTRIC BOX
- ELECTRIC HAND HOLE
- ELEVATIONS (SEE NOTES FOR DATUM)
- FIRE HYDRANT
- FLAGPOLE
- FLOW LINE
- FORCE MAIN MANHOLE
- FORCE MAIN VALVE
- F.P.L. ELECTRIC MANHOLE
- F.P.L. TRANSFORMER PAD
- FPL F.P.L. TRANSMISSION POLE
- GAS MANHOLE
- GAS METER
- GAS PUMP
- GAS VALVE
- GREASE TRAP MANHOLE
- GROUND LIGHTING
- GP GUARD POST
- IRRIGATION HAND HOLE
- IRRIGATION VALVE
- MAILBOX
- MONITOR WELL
- MONUMENT LINE
- P-5 INLET
- P-6 INLET
- PARKING METER
- PEDESTRIAN CROSSING SIGNAL
- PRM PERMANENT REFERENCE MONUMENT
- POST INDICATOR VALVE
- VACUUM BREAKER ASSEMBLY
- PROPERTY LINE
- SANITARY SEWER CLEANOUT
- SANITARY SEWER MANHOLE
- SIAMESE CONNECTION
- SIGN POST
- SPRINKLER PUMP
- STANDPIPE
- STORM SEWER MANHOLE
- STREET LIGHT HAND HOLE
- SWALE INLET
- TELEPHONE BOX (SOUTHERN BELL)
- TELEPHONE HAND HOLE
- TELEPHONE MANHOLE (SO. BELL)
- TELEPHONE PAYPHONE
- TRAFFIC HAND HOLE
- TRAFFIC UTILITY BOX
- TRAFFIC SIGNAL POST
- UNDERGROUND UTILITY MARKER
- UNKNOWN UTILITY MANHOLE
- UNKNOWN UTILITY HAND HOLE
- WATER MANHOLE
- WM WATER METER
- WATER VALVE
- WOOD LIGHT POLE
- WOOD POWER POLE
- HANDICAP PARKING
- STROLLER PARKING



Preliminary Civil Plan

GRAPHIC SCALE

20 0 10 20 40 80

(IN FEET)
1 INCH = 20 FT

PLANNING AND ZONING DECEMBER 2, 2014

Schwebke-Shiskin & Associates, Inc.
CIVIL ENGINEERS LAND SURVEYORS LB#87
3240 CORPORATE WAY MIRAMAR, FLORIDA 33025 TEL: (954)435-7010 FAX: (954)436-3288

Drawn By: H.J.N.	Date: 12/06/14	Scale: 1" = 20'
Checked By: H.J.N.	Date: 12/06/14	
Order No. 000000	FB. Sketches & 00000 Pg.00	File No.

SECTION 17-54-41

515 Valencia

515 Valencia Avenue
Coral Gables, Florida 33134

Property Owner
TM Residential Group, LLC
Suite 410
2665 South Bayshore Drive
Coconut Grove, FL 33133
305-854-2552

NO:	DESCRIPTION:	DATE:

DRAWING HISTORY:

PROJECT NUMBER: 20802.08

REGISTRATION: CA# 87

☐ HERNANDO J. NAVAS, P.E.# 50635

SHEET NUMBER:

C-1