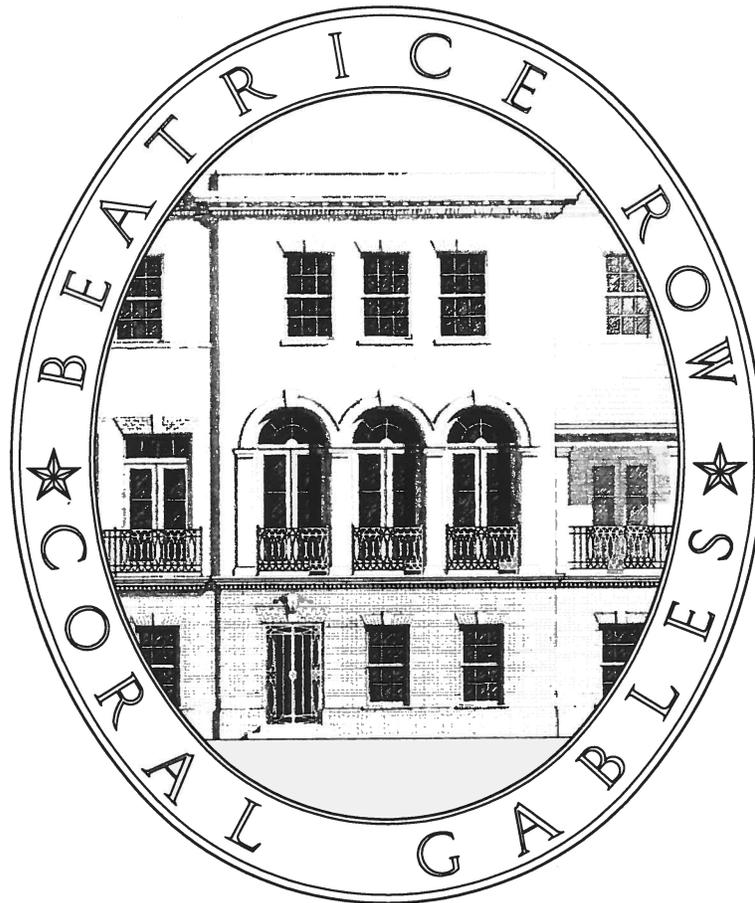


PLANNING AND ZONING BOARD

JANUARY 13, 2016



★ BEATRICE ROW ★

9 Townhouses

de la Guardia Victoria Architects & Urbanists, Inc.

224 Valencia Avenue, Coral Gables, Florida 33134 tel 305-444-6363
AA2600737

Applicant:

Maricris Longo

744 Biltmore Way #2, Coral Gables, Fl. 33134
tel. 305-798-0156



City of Coral Gables Planning Division Application

305.460.5211 planning@coralgables.com www.coralgables.com

Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- Abandonment and Vacations
- Annexation
- Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Comprehensive Plan Text Amendment
- Conditional Use - Administrative Review
- Conditional Use without Site Plan
- Conditional Use with Site Plan
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Mixed Use Site Plan
- Planned Area Development Designation and Site Plan
- Planned Area Development Major Amendment
- Restrictive Covenants and/or Easements
- Site Plan
- Separation/Establishment of a Building Site
- Subdivision Review for a Tentative Plat and Variance
- Transfer of Development Rights Receiving Site Plan
- University Campus District Modification to the Adopted Campus Master Plan
- Zoning Code Map Amendment
- Zoning Code Text Amendment
- Other: _____

General information

Street address of the subject property: 745 Valencia Ave., 2509 Anderson Road, 744 Biltmore Way

Property/project name: Beatrice Row

Legal description: Lot(s) Lots 1,2 and 42,43

Block(s) 10 Section (s) Coral Gables Biltmore

Property owner(s): Longo Guavonia, LLC

Property owner(s) mailing address: 744 Biltmore Way Unit 2

Telephone: Business 716-817-4353 Fax _____

Other _____ Email mitallano.mg @ gmail.com



City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Guilford & Associates, P.A.

Applicant(s)/agent(s) mailing address: 400 University Drive

Telephone: Business 305-446-8411

Fax 305-445-0563

Other _____

Email zguilford @ guilfordassoc.com

Property information

Current land use classification(s): Multi-family Low Density

Current zoning classification(s): Multifamily Special Use District

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- Aerial.
- Affidavit providing for property owner's authorization to process application.
- Annexation supporting materials.
- Application fees.
- Application representation and contact information.
- Appraisal.
- Architectural/building elevations.
- Building floor plans.
- Comprehensive Plan text amendment justification.
- Comprehensive Plan analysis.
- Concurrency impact statement.
- Encroachments plan.
- Environmental assessment.
- Historic contextual study and/or historical significance determination.
- Landscape plan.
- Lighting plan.
- Massing model and/or 3D computer model.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Parking study.
- Photographs of property, adjacent uses and/or streetscape.
- Plat.
- Property survey and legal description.



City of Coral Gables Planning Division Application

- Property owners list, notification radius map and two sets of labels.
- Public Realm Improvements Plan for mixed use projects.
- Public school preliminary concurrency analysis (residential land use/zoning applications only).
- Sign master plan.
- Site plan and supporting information.
- Statement of use and/or cover letter.
- Streetscape master plan.
- Traffic accumulation assessment.
- Traffic impact statement.
- Traffic impact study.
- Traffic stacking analysis.
- Utilities consent.
- Utilities location plan.
- Vegetation survey.
- Video of the subject property.
- Zoning Analysis (Preliminary).
- Zoning Code text amendment justification.
- Warranty Deed.
- Other: _____

Application submittal requirements

1. Hard copies. The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preapplication meeting.
2. Digital media copies. Two (2) compact discs (CD ROMs) of the entire application including all the items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 Mb. All discs shall be labeled with the applicant(s) name, project name and date of submittal.

Applicant/agent/property owner affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.



City of Coral Gables Planning Division Application

5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

Property owner(s) signature(s): <i>Maria C Longo</i>	Property owner(s) print name: Maria Cristina Longo for Longo Guavonia LLC
Property owner(s) signature(s):	Property owner(s) print name:
Property owner(s) signature(s):	Property owner(s) print name:

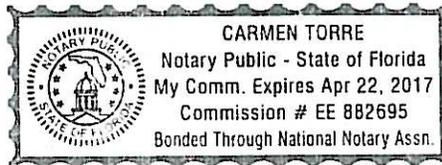
Address: 744 Biltmore Way, ste 2, Coral Gables, FL 33134

Telephone: 305-798-0156 Fax: 305-442-9497 Email: maricriLongo@gmail.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 8 day of October 2015 by Maria Cristina Longo
(Signature of Notary Public - State of Florida)



Carmen Torre

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____



City of Coral Gables Planning Division Application

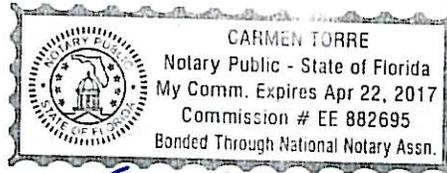
Contract Purchaser(s) Signature: X	Contract Purchaser(s) Print Name: Jenny Ducret for Beatrice Row Project <i>(sign name)</i>
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:

Address: 301 Almeria Ave Ste 330, Coral Gable FL 33134

Telephone: 305-718-4574 Fax: 305-718-4574 Email:

NOTARIZATION

STATE OF FLORIDA/COUNTY OF
The foregoing instrument was acknowledged before me this 9 day of October 2015 by Jenny Ducret
(Signature of Notary Public - State of Florida)



Carmen Torre

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____

Applicant(s)/Agent(s) Signature: <i>F.W. Zeke Guilford, Esq</i>	Applicant(s)/Agent(s) Print Name: F.W. ZEKE GOILFORD, ESQ GOILFORD & ASSOCIATES, P.A.	
Address: 400 UNIVERSITY DRIVE CORAL GABLES, FL 33134		
Telephone: 305-446-8411	Fax: 305-445-0543	Email: ZGOILFORD@GOILFORDASSOC.COM

NOTARIZATION

STATE OF FLORIDA/COUNTY OF Miami-Dade
The foregoing instrument was acknowledged before me this 16 day of October 2015 by F.W. Zeke Guilford
(Signature of Notary Public - State of Florida)

Lidia Gonzalez



LIDIA GONZALEZ
MY COMMISSION # FF 100466
EXPIRES: May 1, 2018
Bonded Thru Budget Notary Services

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____

Guilford & Associates, P.A.
Attorneys at Law

F. W. ZEKE GUILFORD
E-MAIL: ZGUILFORD@GUILFORDASSOC.COM

September 9, 2015

400 UNIVERSITY DRIVE
SUITE 201
CORAL GABLES, FLORIDA 33134
TEL (305) 446-8411
FAX (305) 445-0563

Mr. Ramon Trias
Planning and Zoning Director
City of Coral Gables
405 Biltmore Way
Coral Gables, FL 33134

Re: Tentative Plat / Beatrice Row

Dear Mr. Trias:

This firm represents Longo Guavonia, LLC, the owner of property located at 745 Valencia Avenue, 744 Biltmore Way and 2509 Anderson Road regarding an application to re-plat the property.

The property consists of four (4) platted lots and has three multi-family buildings constructed on it. The three buildings have a total of fourteen (14) units. It is the owner's intent to demolish the three buildings and construct nine (9) fee simple townhouses. In order to accomplish this intent, we will need to re-plat the property from four (4) lots to nine (9) lots. We exceed the minimum requirements for lot width as set forth in Section 4-104(D)(2)(c) of the Coral Gables Zoning Code as it pertains to townhouses. Townhomes are a permitted use in this zoning district and we are not requesting any variances for the project.

If you have any questions or need further information, please do not hesitate to contact me. I sincerely appreciate your favorable consideration of this application.

Very sincerely,
Guilford & Associates, P.A.


F.W. Zeke Guilford, Esq.

Owner's Representatives

Owner's Representative:

Venny Torre
208 Andalusia Avenue
Coral Gables, FL 33134
Telephone No: 305-442-9494
Email: venny@torrecompanies.com

Architect:

Maria De La Guardia
De La Guardia Victoria Architects
224 Valencia Avenue
Coral Gables, FL 33134
Telephone No: 305-444-6363
Email: dlgv@dlgvarchitects.com

Legal:

F.W. Zeke Guilford, Esq.
Guilford & Associates, P.A.
400 University Drive
Suite 201
Coral Gables, FL 33134
Telephone No: 305-446-8411
Email: zguilford@guilfordassoc.com

Surveyor:

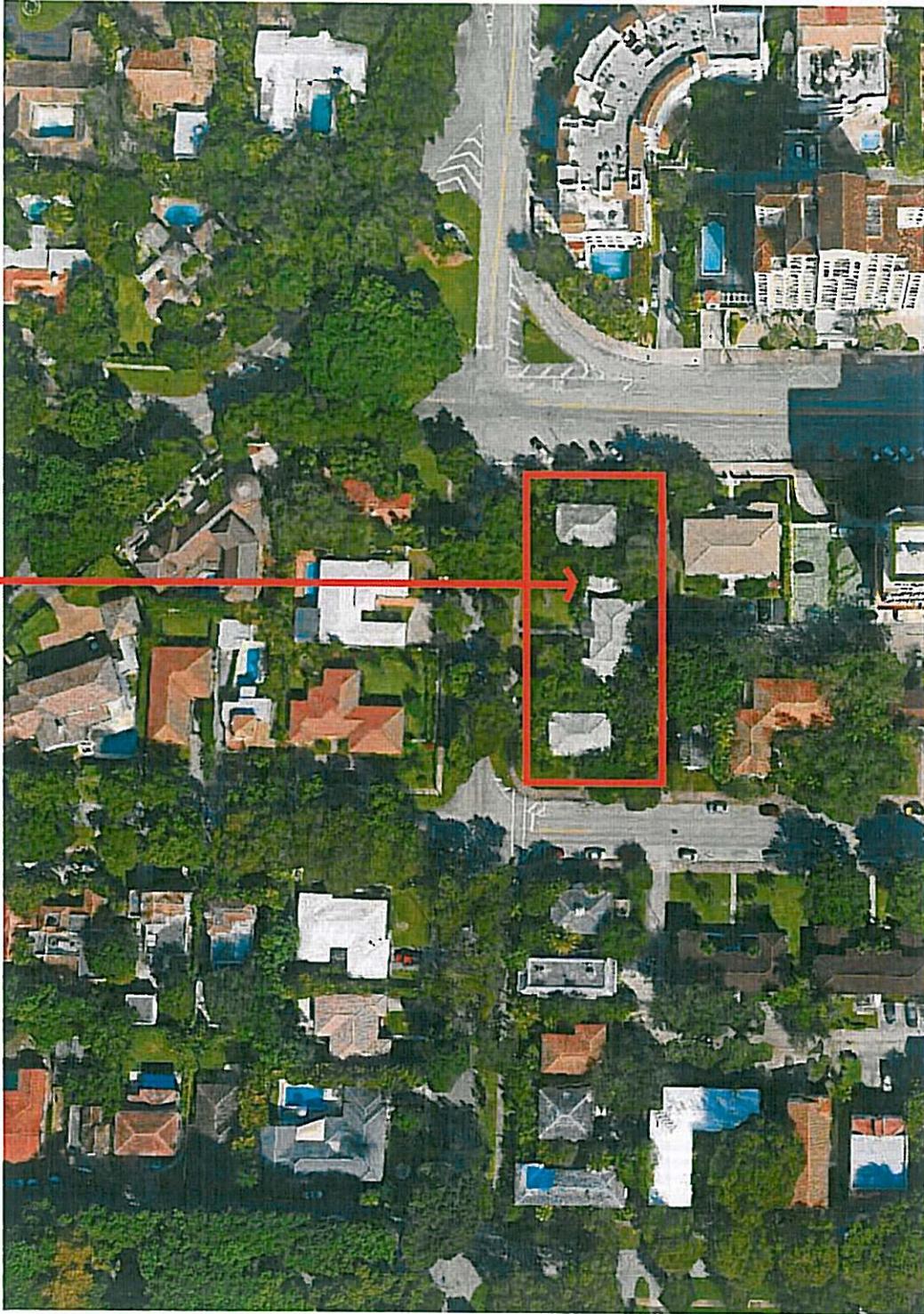
Lannes and Garcia
385 Alhambra Circle
Suite C
Coral Gables, FL 33134
305-666-7909



Town-house
Project
Site

Aerial Photo





Town-house
Project
Site

Aerial Photo





745 Valencia Ave.-Front



745 Valencia Ave.-Back

Site Photographs



745 Valencia Ave.-Side



745 Valencia Ave.-Side

Site Photographs



2509 Anderson St.-Front



2509 Anderson Street-Back



2509 Anderson Street-Back



Alley



744 Biltmore Way-Front



744 Biltmore Way-Side



744 Biltmore Way-Side



744 Biltmore Way-Back

TENTATIVE PLAT OF "BEATRICE ROW"

BEING A REPLAT OF LOTS 1, 2, 42 AND 43 BLOCK 10 OF "CORAL GABLES BILTMORE SECTION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, AT PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AND SITUATED IN THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 54 SOUTH, RANGE 41 EAST, LYING AND BEING IN THE CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA.

FIELD WORK DATE

FIELD DATE: 12-29-2014 AND 03-12-2015

ADJOINING ZONING: EXISTING

ID	FOLIO NO.:	CLUC	PRIMARY ZONING
A	03-4117-008-1590	0803 MULTI-FAMILY 2-9 UNITS: MULTIFAMILY 3 OR MORE UNITS	5002 HOTELS & MOTELS - GENERAL HIGH DENSITY
B	03-4117-008-1860	0101 RESIDENTIAL - SINGLE FAMILY: 1 UNIT	5000 HOTELS & MOTELS - GENERAL
C	03-4117-008-1880	0803 MULTI-FAMILY 2-9 UNITS: MULTIFAMILY 3 OR MORE UNITS	5002 HOTELS & MOTELS - GENERAL HIGH DENSITY
D	03-4118-001-0180	0101 RESIDENTIAL - SINGLE FAMILY: 1 UNIT	0100 SINGLE FAMILY - GENERAL
E	03-4118-001-0170	0101 RESIDENTIAL - SINGLE FAMILY: 1 UNIT	0100 SINGLE FAMILY - GENERAL
F	03-4118-001-0160	0101 RESIDENTIAL - SINGLE FAMILY: 1 UNIT	0100 SINGLE FAMILY - GENERAL
G	03-4117-043-0001	0000 REFERENCE FOLIO	5000 HOTELS & MOTELS - GENERAL



LOCATION MAP
NTS
LYING IN THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 54 SOUTH, RANGE 41 EAST, MIAMI-DADE COUNTY, FLORIDA

ADJOINING LAND OWNERS

03-4117-008-1590	DICKERSON APARTMENTS LLC
03-4117-008-1860	ALLIANCE STARLIGHT III LLC
03-4117-008-1880	760 VALENCIA AVE LLC
03-4118-001-0180	FERNANDO HERRERA OSORIO AND LAURA PONCE DE LEON INMAN
03-4118-001-0170	VERONICA R. AIELLO
03-4118-001-0160	800 ANDALUSIA LLC
03-4117-043-0001	CONDOMINIUM - VARIOUS OWNERS OF RECORD

REFER TO SHEET 3 EXISTING

ID	FOLIO NO.:	CLUC	PRIMARY ZONING
A	03-4117-008-1870	0803 MULTI-FAMILY 2-9 UNITS: MULTIFAMILY 3 OR MORE UNITS	5002 HOTELS & MOTELS - GENERAL HIGH DENSITY
PROPOSED			
I	03-4117-008-1870	0803 MULTI-FAMILY 2-9 UNITS: MULTIFAMILY 3 OR MORE UNITS	5002 HOTELS & MOTELS - GENERAL HIGH DENSITY
II	03-4117-008-1870	0803 MULTI-FAMILY 2-9 UNITS: MULTIFAMILY 3 OR MORE UNITS	5002 HOTELS & MOTELS - GENERAL HIGH DENSITY
III	03-4117-008-1870	0803 MULTI-FAMILY 2-9 UNITS: MULTIFAMILY 3 OR MORE UNITS	5002 HOTELS & MOTELS - GENERAL HIGH DENSITY
IV	03-4117-008-1870	0803 MULTI-FAMILY 2-9 UNITS: MULTIFAMILY 3 OR MORE UNITS	5002 HOTELS & MOTELS - GENERAL HIGH DENSITY

PROPERTY ADDRESS

744 BILTMORE WAY
2509 ANDERSON ROAD
745 VALENCIA AVENUE
CORAL GABLES, FLORIDA 33134

FLOOD INFORMATION

FLOOD ZONE: X
MAP & PANEL = 12086C0457
COMMUNITY No.: 120639
SUFFIX: L
DATE OF FIRM: 09-11-2009
BASE ELEV.= N/A

SURVEYOR'S REFERENCE

1) "CORAL GABLES BILTMORE SECTION" PLATBOOK 20, PAGE 28 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

MIAMI-DADE FLOOD CRITERIA MAP

ELEVATION= +5.00 NGVD 1929
PLAT BOOK 20, PAGE 28 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA

LEGAL DESCRIPTION

LOTS 1, 2, 42 AND 43, BLOCK 10, "CORAL GABLES BILTMORE SECTION", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 20, PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

OWNERS CONTACT INFORMATION

LONGO GUAVONIA LLC
744 BILTMORE WAY SUITE 2
CORAL GABLE, FL. 33134
PH. 305-798-0156
FAX 951-281-4966
AUTHORIZED AGENT: MARIA LONGO

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MINIMUM TECHNICAL STANDARDS OF LAND SURVEYING IN THE STATE OF FLORIDA, AS OUTLINED IN RULES 5J-17, (FLORIDA ADMINISTRATIVE CODE), AS ADOPTED BY THE DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER, 1981, AS AMENDED, PURSUANT TO CHAPTER 472.027 OF THE FLORIDA STATUTES, AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

LANNES & GARCIA, INC. LB #2098
385 ALHAMBRA CIRCLE, SUITE C,
CORAL GABLES, FLORIDA, FL. 33134

DATE: 03-12-2015

BY FRANCISCO F. FAJARDO
PROFESSIONAL SURVEYOR AND MAPPER #4767
STATE OF FLORIDA

SURVEY NOTES

- NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA PROFESSIONAL SURVEYOR AND MAPPER.
- ADDITIONS OR DELETIONS TO THIS TENTATIVE PLAT BY ANY OTHERS THAN THE SIGNING PARTIES ARE PROHIBITED.
- THE BEARINGS SHOWN HEREON ARE BASED ON ASSUMED PLAT MERIDIAN AT: NORTH RIGHT OF WAY LINE OF VALENCIA AVENUE = WEST
- ALL BUILDING TIES ARE PERPENDICULAR TO THE PROPERTY LINES.
- THERE HAVE BEEN NO UNDERGROUND IMPROVEMENTS LOCATED IN THIS SURVEY. FOUNDATIONS AND/OR BUILDING FOOTERS WERE NOT LOCATED.
- THE SYMBOLS REFLECTED IN THE LEGEND AND ON THIS SURVEY MAY HAVE BEEN ENLARGED FOR CLARITY. THE SYMBOLS HAVE BEEN PLOTTE DAT THE CENTER OF THE FIELD LOCATION.
- THERE MAY BE ADDITIONAL RESTRICTIONS NOT SHOWN ON THIS SURVEY THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THE CITY OF CORAL GABLES AND MIAMI-DADE COUNTY.
- THE ELEVATIONS SHOWN HEREON ARE BASED ON THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29) AND REFERENCED TO THE FOLLOWING BENCHMARKS:
A) CITY OF CORAL GABLES BM # 52, ELEVATION= 11.57
B) CITY OF CORAL GABLES BM # 489, ELEVATION= 10.88
- ALL DOCUMENTS ARE RECORDED IN THE PUBLIC RECORDS OF MIAMI-DADE COUNTY FLORIDA, UNLESS OTHERWISE NOTED.
- TITLE COMMITMENT OR ABSTRACT OF TITLE HAS NOT BEEN REVIEWED BY CERTIFYING SURVEYOR, THEREFORE CANNOT AND HAS NOT BASED ANY INFORMATION ON THIS PLAT UPON SUCH DOCUMENTATION.

SURVEY NUMBER: 210815B

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER



PROFESSIONAL SURVEYING AND MAPPING
LANNES & GARCIA, INC.
LB # 2098
FRANCISCO F. FAJARDO PSM # 4767 (QUALIFIER)
385 ALHAMBRA CIRCLE, SUITE C
CORAL GABLES, FLORIDA 33134
PH (305) 666-7909 FAX (305) 442-2530
lannes2garcia@gmail.com

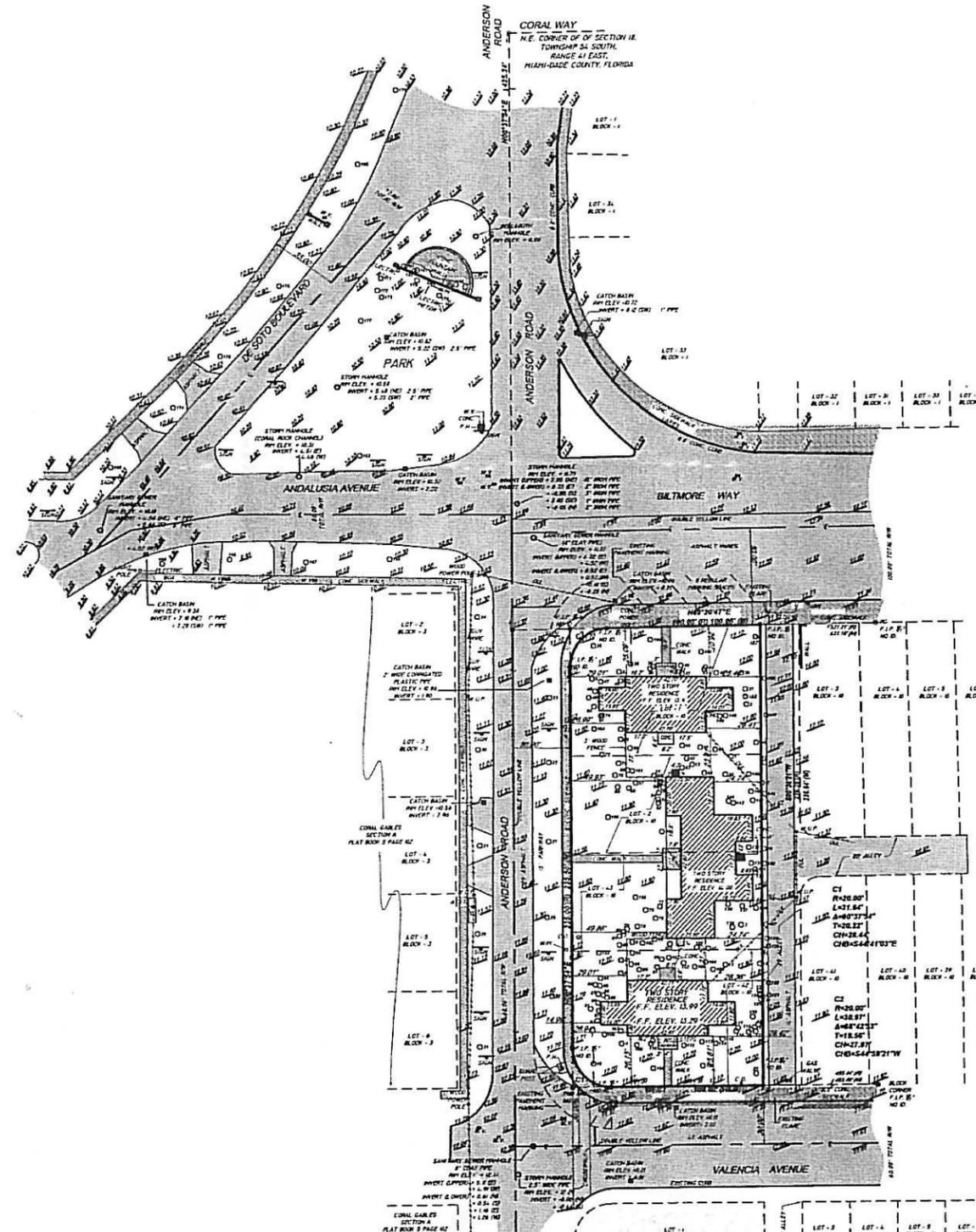
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BEING A REPLAT OF LOTS 1, 2, 42 AND 43 BLOCK 10 OF "CORAL GABLES BILTMORE SECTION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, AT PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AND SITUATED IN THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 54 SOUTH, RANGE 41 EAST, LYING AND BEING IN THE CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA.

TREE CHART

#	DIMETER	CANOPY	TYPE	#	DIMETER	CANOPY	TYPE
1	2.0	30.0	LEAFY OLIVE	81	8.0	8.0	CARPENTER PALM
2	2.0	30.0	OLIVIA	82	8.0	8.0	CARPENTER PALM
3	2.0	30.0	OLIVIA	83	8.0	8.0	CARPENTER PALM
4	2.0	30.0	OLIVIA	84	8.0	8.0	CARPENTER PALM
5	2.0	30.0	OLIVIA	85	8.0	8.0	CARPENTER PALM
6	2.0	30.0	OLIVIA	86	8.0	8.0	CARPENTER PALM
7	2.0	30.0	OLIVIA	87	8.0	8.0	CARPENTER PALM
8	2.0	30.0	OLIVIA	88	8.0	8.0	CARPENTER PALM
9	2.0	30.0	OLIVIA	89	8.0	8.0	CARPENTER PALM
10	2.0	30.0	OLIVIA	90	8.0	8.0	CARPENTER PALM
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12	2.0	30.0	OLIVIA	92	8.0	8.0	CARPENTER PALM
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14	2.0	30.0	OLIVIA	94	8.0	8.0	CARPENTER PALM
15	2.0	30.0	OLIVIA	95	8.0	8.0	CARPENTER PALM
16	2.0	30.0	OLIVIA	96	8.0	8.0	CARPENTER PALM
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21	2.0	30.0	OLIVIA	101	8.0	8.0	CARPENTER PALM
22	2.0	30.0	OLIVIA	102	8.0	8.0	CARPENTER PALM
23	2.0	30.0	OLIVIA	103	8.0	8.0	CARPENTER PALM
24	2.0	30.0	OLIVIA	104	8.0	8.0	CARPENTER PALM
25	2.0	30.0	OLIVIA	105	8.0	8.0	CARPENTER PALM
26	2.0	30.0	OLIVIA	106	8.0	8.0	CARPENTER PALM
27	2.0	30.0	OLIVIA	107	8.0	8.0	CARPENTER PALM
28	2.0	30.0	OLIVIA	108	8.0	8.0	CARPENTER PALM
29	2.0	30.0	OLIVIA	109	8.0	8.0	CARPENTER PALM
30	2.0	30.0	OLIVIA	110	8.0	8.0	CARPENTER PALM
31	2.0	30.0	OLIVIA	111	8.0	8.0	CARPENTER PALM
32	2.0	30.0	OLIVIA	112	8.0	8.0	CARPENTER PALM
33	2.0	30.0	OLIVIA	113	8.0	8.0	CARPENTER PALM
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40	2.0	30.0	OLIVIA	120	8.0	8.0	CARPENTER PALM
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42	2.0	30.0	OLIVIA	122	8.0	8.0	CARPENTER PALM
43	2.0	30.0	OLIVIA	123	8.0	8.0	CARPENTER PALM
44	2.0	30.0	OLIVIA	124	8.0	8.0	CARPENTER PALM
45	2.0	30.0	OLIVIA	125	8.0	8.0	CARPENTER PALM
46	2.0	30.0	OLIVIA	126	8.0	8.0	CARPENTER PALM
47	2.0	30.0	OLIVIA	127	8.0	8.0	CARPENTER PALM
48	2.0	30.0	OLIVIA	128	8.0	8.0	CARPENTER PALM
49	2.0	30.0	OLIVIA	129	8.0	8.0	CARPENTER PALM
50	2.0	30.0	OLIVIA	130	8.0	8.0	CARPENTER PALM
51	2.0	30.0	OLIVIA	131	8.0	8.0	CARPENTER PALM
52	2.0	30.0	OLIVIA	132	8.0	8.0	CARPENTER PALM
53	2.0	30.0	OLIVIA	133	8.0	8.0	CARPENTER PALM
54	2.0	30.0	OLIVIA	134	8.0	8.0	CARPENTER PALM
55	2.0	30.0	OLIVIA	135	8.0	8.0	CARPENTER PALM
56	2.0	30.0	OLIVIA	136	8.0	8.0	CARPENTER PALM
57	2.0	30.0	OLIVIA	137	8.0	8.0	CARPENTER PALM
58	2.0	30.0	OLIVIA	138	8.0	8.0	CARPENTER PALM
59	2.0	30.0	OLIVIA	139	8.0	8.0	CARPENTER PALM
60	2.0	30.0	OLIVIA	140	8.0	8.0	CARPENTER PALM
61	2.0	30.0	OLIVIA	141	8.0	8.0	CARPENTER PALM
62	2.0	30.0	OLIVIA	142	8.0	8.0	CARPENTER PALM
63	2.0	30.0	OLIVIA	143	8.0	8.0	CARPENTER PALM
64	2.0	30.0	OLIVIA	144	8.0	8.0	CARPENTER PALM
65	2.0	30.0	OLIVIA	145	8.0	8.0	CARPENTER PALM
66	2.0	30.0	OLIVIA	146	8.0	8.0	CARPENTER PALM
67	2.0	30.0	OLIVIA	147	8.0	8.0	CARPENTER PALM
68	2.0	30.0	OLIVIA	148	8.0	8.0	CARPENTER PALM
69	2.0	30.0	OLIVIA	149	8.0	8.0	CARPENTER PALM
70	2.0	30.0	OLIVIA	150	8.0	8.0	CARPENTER PALM
71	2.0	30.0	OLIVIA	151	8.0	8.0	CARPENTER PALM
72	2.0	30.0	OLIVIA	152	8.0	8.0	CARPENTER PALM
73	2.0	30.0	OLIVIA	153	8.0	8.0	CARPENTER PALM
74	2.0	30.0	OLIVIA	154	8.0	8.0	CARPENTER PALM
75	2.0	30.0	OLIVIA	155	8.0	8.0	CARPENTER PALM
76	2.0	30.0	OLIVIA	156	8.0	8.0	CARPENTER PALM
77	2.0	30.0	OLIVIA	157	8.0	8.0	CARPENTER PALM
78	2.0	30.0	OLIVIA	158	8.0	8.0	CARPENTER PALM
79	2.0	30.0	OLIVIA	159	8.0	8.0	CARPENTER PALM
80	2.0	30.0	OLIVIA	160	8.0	8.0	CARPENTER PALM
81	2.0	30.0	OLIVIA	161	8.0	8.0	CARPENTER PALM
82	2.0	30.0	OLIVIA	162	8.0	8.0	CARPENTER PALM
83	2.0	30.0	OLIVIA	163	8.0	8.0	CARPENTER PALM
84	2.0	30.0	OLIVIA	164	8.0	8.0	CARPENTER PALM
85	2.0	30.0	OLIVIA	165	8.0	8.0	CARPENTER PALM
86	2.0	30.0	OLIVIA	166	8.0	8.0	CARPENTER PALM
87	2.0	30.0	OLIVIA	167	8.0	8.0	CARPENTER PALM
88	2.0	30.0	OLIVIA	168	8.0	8.0	CARPENTER PALM
89	2.0	30.0	OLIVIA	169	8.0	8.0	CARPENTER PALM
90	2.0	30.0	OLIVIA	170	8.0	8.0	CARPENTER PALM
91	2.0	30.0	OLIVIA	171	8.0	8.0	CARPENTER PALM
92	2.0	30.0	OLIVIA	172	8.0	8.0	CARPENTER PALM
93	2.0	30.0	OLIVIA	173	8.0	8.0	CARPENTER PALM
94	2.0	30.0	OLIVIA	174	8.0	8.0	CARPENTER PALM
95	2.0	30.0	OLIVIA	175	8.0	8.0	CARPENTER PALM
96	2.0	30.0	OLIVIA	176	8.0	8.0	CARPENTER PALM
97	2.0	30.0	OLIVIA	177	8.0	8.0	CARPENTER PALM
98	2.0	30.0	OLIVIA	178	8.0	8.0	CARPENTER PALM
99	2.0	30.0	OLIVIA	179	8.0	8.0	CARPENTER PALM
100	2.0	30.0	OLIVIA	180	8.0	8.0	CARPENTER PALM
101	2.0	30.0	OLIVIA	181	8.0	8.0	CARPENTER PALM
102	2.0	30.0	OLIVIA	182	8.0	8.0	CARPENTER PALM
103	2.0	30.0	OLIVIA	183	8.0	8.0	CARPENTER PALM
104	2.0	30.0	OLIVIA	184	8.0	8.0	CARPENTER PALM
105	2.0	30.0	OLIVIA	185	8.0	8.0	CARPENTER PALM
106	2.0	30.0	OLIVIA	186	8.0	8.0	CARPENTER PALM
107	2.0	30.0	OLIVIA	187	8.0	8.0	CARPENTER PALM
108	2.0	30.0	OLIVIA	188	8.0	8.0	CARPENTER PALM
109	2.0	30.0	OLIVIA	189	8.0	8.0	CARPENTER PALM
110	2.0	30.0	OLIVIA	190	8.0	8.0	CARPENTER PALM
111	2.0	30.0	OLIVIA	191	8.0	8.0	CARPENTER PALM
112	2.0	30.0	OLIVIA	192	8.0	8.0	CARPENTER PALM
113	2.0	30.0	OLIVIA	193	8.0	8.0	CARPENTER PALM
114	2.0	30.0	OLIVIA	194	8.0	8.0	CARPENTER PALM
115	2.0	30.0	OLIVIA	195	8.0	8.0	CARPENTER PALM
116	2.0	30.0	OLIVIA	196	8.0	8.0	CARPENTER PALM
117	2.0	30.0	OLIVIA	197	8.0	8.0	CARPENTER PALM
118	2.0	30.0	OLIVIA	198	8.0	8.0	CARPENTER PALM
119	2.0	30.0	OLIVIA	199	8.0	8.0	CARPENTER PALM
120	2.0	30.0	OLIVIA	200	8.0	8.0	CARPENTER PALM

TYPE OF TREES REFLECTED HAVE BEEN DETERMINED TO THE BEST OF OUR KNOWLEDGE



SYMBOL LEGEND AND SURVEY ABBREVIATIONS

AC	AIR CONDITIONER	FH	FIRE HYDRANT	P.C.	POINT OF CURVATURE	T.B.M.	TEMPORARY BENCH MARK
AVE	AVENUE	I.C.V.	IRIGATION CONTROL VALVE	P.C.C.	POINT OF COMPOUND CURVATURE	TEL	TELEPHONE
B.L.D.	BUILDING	I.P.	IRON PIPE	P.C.P.	PERMANENT CONTROL POINT	TYP.	TYPICAL
B.M.	BENCH MARK	F.P.	FLUORIDE POWER & LIGHT	P.L.S.	PROFESSIONAL LAND SURVEYOR	U.E.	UTILITY EASEMENT
C.A.T.V.	CABLE TELEVISION BOX	F.R.P.	FOUND IRON PIPE	P.S.M.	PROFESSIONAL SURVEYOR AND MAPPER	W.M.	WATER METER
C.B.	CATCH BASIN	F.L.	FOUND LEAD PIPE	P.L.	PROPERTY LINE	W.V.	WATER VALVE
C.S.	CONCRETE BLOCK STRUCTURE	F.N.D.	FOUND NAIL ROD	P.O.B.	POINT OF BEGINNING	W.U.P.	WOOD UTILITY POLE
CHD	CHORD BEARING	L.	LEAD	P.O.C.	POINT OF COMMENCEMENT	—	OVERHEAD UTILITY LINES
CHD	CHORD DISTANCE	L.S.	LEADS	P.O.T.	POINT OF TANGENCY	—	CONCRETE
C.	CENTERLINE	L.P.	LIGHT POLE	P.R.M.	PERMANENT REFERENCE MONUMENT	—	WIRE FENCE
CL	CLEAR	L.S.	LEADS SURVEYOR	R.	RADIUS	—	PROPERTY CORNER
CONC.	CONCRETE	M.	MEASURED	R.E.C.	RECORD	—	HOOD FENCE
C.O.	CLEAN OUT	M.N.	MEASUREMENT NATIONAL GEODETIC VERTICAL DATUM	R.E.L.	RIGHT-OF-WAY	—	WATER VALVE
E.B.	ELECTRIC BOX	N.D.	NOT IDENTIFIABLE	S.A.K.	SANITARY	—	SOIL
ELEV.	ELEVATION	N.T.S.	NOT TO SCALE	S.L.P.	SET IRON PIPE	—	DRAINAGE MANHOLE
ELEV.	ELEVATION REFERENCE POINT	O.R.	OFFICIAL RECORD BOOK	S.L.R.	SET IRON ROD	—	SANITARY MANHOLE
		D.W.	OWNERS PROPERTY LINE	S.T.	STREET	—	FIRE HYDRANT
						—	LOADING FEATURE
						—	FARE DEPARTMENT CONNECTION

SCALE: NTS

BOUNDARY AND TOPOGRAPHIC SURVEY

I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MINIMUM TECHNICAL STANDARDS OF PRACTICE AND ETHICS AS REQUIRED BY THE STATE OF FLORIDA. ALL DISTURBED AREAS HAVE BEEN RESTORED TO ORIGINAL CONDITION AS MUCH AS PRACTICABLE. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN SEPTEMBER, 2015. I AM A LICENSED SURVEYOR AND MAPPER IN THE STATE OF FLORIDA. LICENSE NO. 11111. I HAVE NO OTHER INTERESTS IN THIS SURVEY.

FRANCISCO F. FAJARDO
PROFESSIONAL SURVEYOR AND MAPPER
FLORIDA REGISTRATION NO. 11111

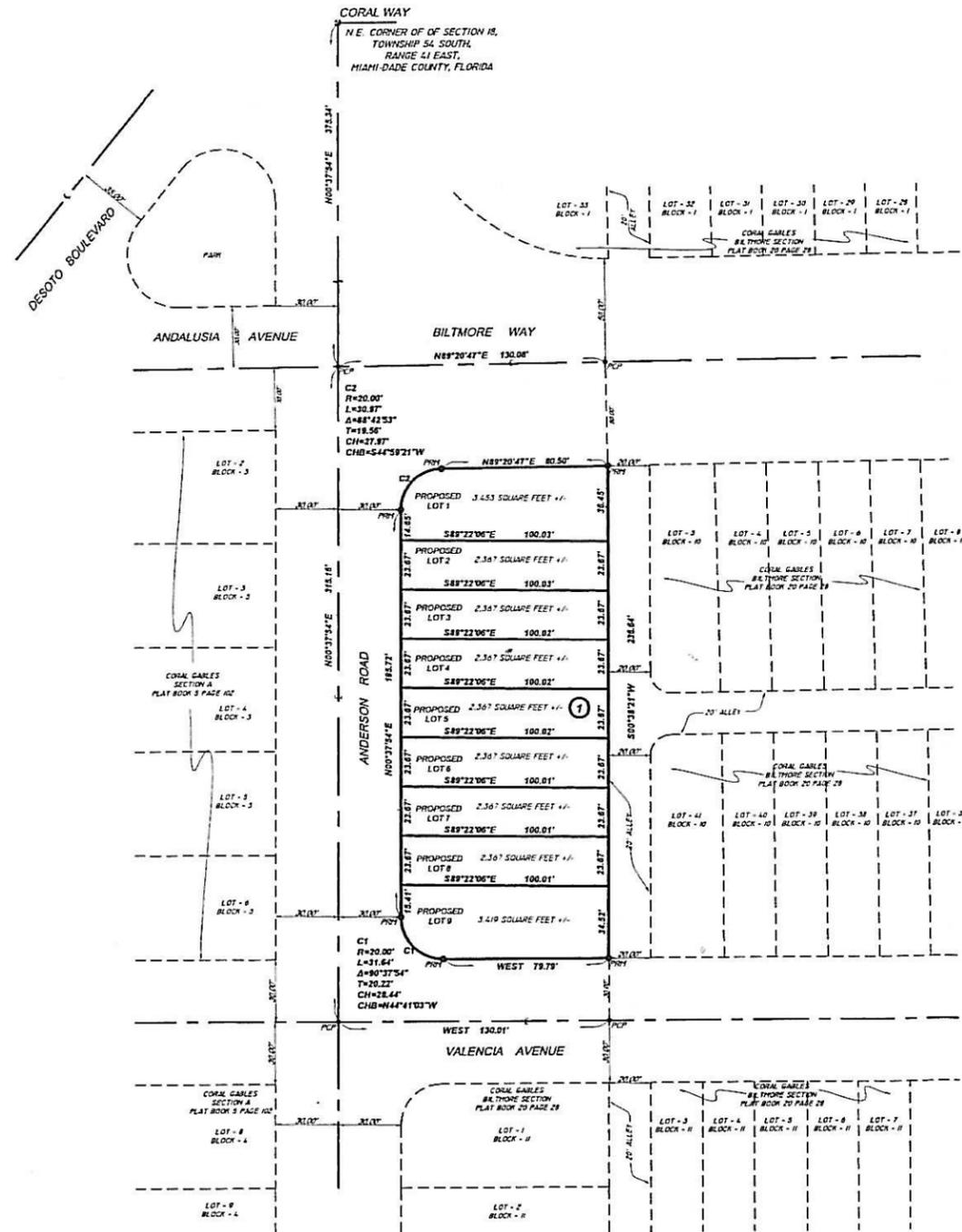


PROFESSIONAL SURVEYING AND MAPPING
LANNES & GARCIA, INC.
L.B. # 2098
FRANCISCO F. FAJARDO P.S.M. # 4767 (QUALIFIER)
385 ALHAMBRA CIRCLE, SUITE C
CORAL GABLES, FLORIDA 33134
PH (305) 666-7909 FAX (305) 442-2530
lannes2garcia@gmail.com

ADDITIONAL ELEVATIONS, CURB CUTS AND MARKINGS ADDED: 09-03-2015
UPDATE WITH ADDITIONAL ELEVATIONS ADDED: 03-27-2015
SURVEY NUMBER: 210815D

TENTATIVE PLAT OF "BEATRICE ROW"

BEING A REPLAT OF LOTS 1, 2, 42 AND 43 BLOCK 10 OF "CORAL GABLES BILTMORE SECTION", ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 20, AT PAGE 28, OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA AND SITUATED IN THE NORTHWEST 1/4 OF SECTION 17, TOWNSHIP 54 SOUTH, RANGE 41 EAST, LYING AND BEING IN THE CITY OF CORAL GABLES, MIAMI-DADE COUNTY, FLORIDA.



DEVELOPMENT INFORMATION						
ZONING INFORMATION						
RESIDENTIAL USE / MULTI-FAMILY SPECIAL AREA (TOWNSHIP) / MULTI-FAMILY LOW DENSITY						
	ALLOWED	LOT 1	LOTS 2 & 6	LOTS 3 - 7	LOT 8	TOTAL 8 LOTS
LOT SIZE		3,453 SQUARE FEET	2,367 SQUARE FEET	2,367 SQUARE FEET	3,419 SQUARE FEET	21,442 SQUARE FEET
PARCEL WIDTH	22' MIN.	34' MIN.	22' 8" MIN.	22' 8" MIN.	34' MIN.	22' 8" MIN.
DENSITY REQUIREMENT:	20 UNITS/ACRE (10 UNITS)	1 UNIT	2 UNITS	5 UNITS	1 UNIT	8 UNITS TOTAL
FLOOR AREA RATIO	2	1.20	1.68	1.68	1.21	1.51
TOTAL FLOOR AREA		5,548 SQUARE FEET	5,577 SQUARE FEET	5,534 SQUARE FEET	5,549 SQUARE FEET	48,912 SQUARE FEET
EXCLUSIONS (GARAGES, UNENCLOSED PORCHES, TERRACES & LOBBIES)		1,407 SQUARE FEET	1,029 SQUARE FEET	1,819 SQUARE FEET	1,407 SQUARE FEET	14,154 SQUARE FEET
NET FLOOR AREA		4,142 SQUARE FEET	3,872 SQUARE FEET	3,909 SQUARE FEET	4,142 SQUARE FEET	38,758 SQUARE FEET
OPEN SPACE	25% MIN.	40% (1,377 SQUARE FEET)	25% (599 SQUARE FEET)	25% (522 SQUARE FEET)	30% (1,340 SQUARE FEET)	37% (7,223 SQUARE FEET)
SETBACKS						
FRONT	5'-0" MIN.	6'-0"	7'-0"	6'-0"	6'-0"	7'-0" MIN.
REAR	5'-0" MIN.	5'-0"	6'-0"	6'-0"	5'-0"	5'-0" MIN.
SIDE (INTERIOR)	0'-0" MIN.	0'-0" / 0'-0"	0'-0" / 0'-0"	0'-0" / 0'-0"	0'-0"	0'-0"
SIDE (STREET)	10'-0" MIN.	10'-0"	-	-	10'-0"	10'-0"
HEIGHT	45'	42'-6"	42'-6"	45'-6"	41'-6"	41'-6"
STORIES	3 STORIES	3 STORIES	3 STORIES	3 STORIES	3 STORIES	3 STORIES
PARKING REQUIREMENTS	2 SPACES/UNIT MINIMUM	2 SPACES/UNIT	4 SPACES/UNIT	4 SPACES/UNIT	2 SPACES/UNIT	32 SPACES

DEVELOPMENT INFORMATION
NOTE: SETBACK INFORMATION BASED UPON DE LA GUARDIA VICTORIA ARCHITECTS & URBANISTS, INC.

ZONING REFERENCES
I, II, III, IV, V, VI, VII, VIII AND IX
REFER TO SHEET 1 FOR INFORMATION

LEGEND OF SURVEY ABBREVIATIONS AND SYMBOLS

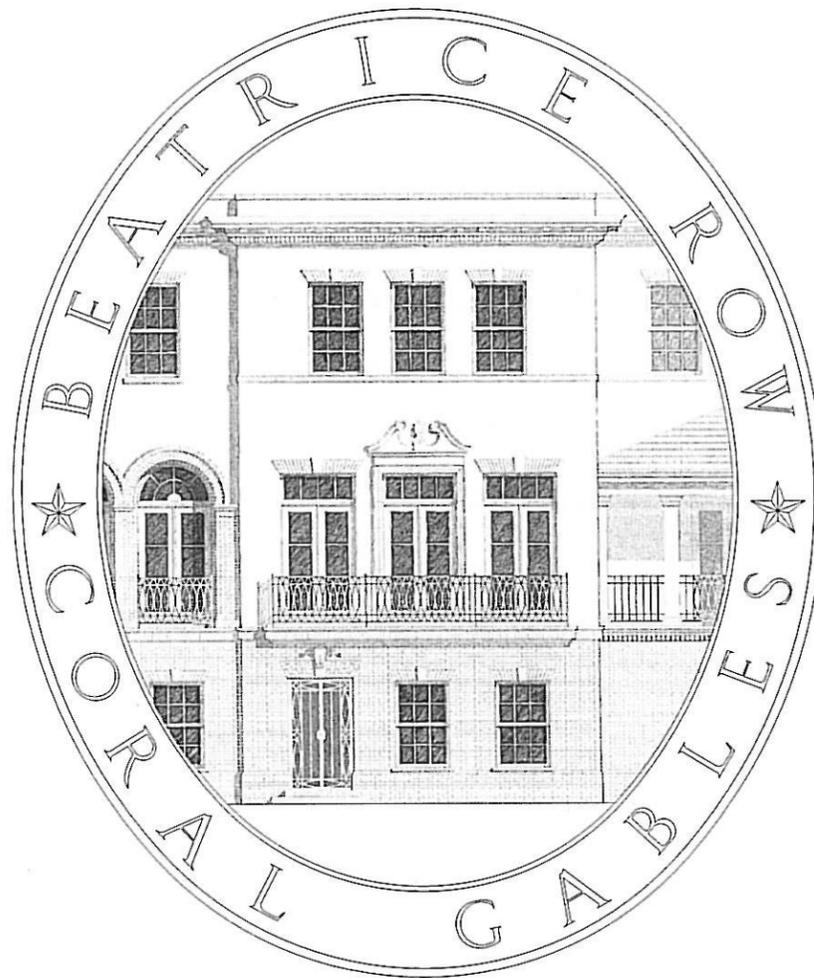
- ⊙ INDICATES PERMANENT REFERENCE MONUMENT (P.R.M.) L.B. NO. 2098
- INDICATES PERMANENT CONTROL POINT (P.C.P.) L.B. NO. 2098
- Δ DELTA ANGLE
- ± MORE OR LESS
- L ARC LENGTH
- C CENTERLINE
- CH CHORD DISTANCE
- CB CHORD BEARING
- L.B. LICENSED BUSINESS
- N NORTH
- No. NUMBER
- R RADIUS
- S SOUTH
- T TANGENT
- E EAST
- W WEST

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

PROFESSIONAL SURVEYING AND MAPPING
LANNES & GARCIA, INC.
L.B. # 2098
FRANCISCO F. FAJARDO PSM # 4767 (QUALIFIER)
385 ALHAMBRA CIRCLE, SUITE C
CORAL GABLES, FLORIDA 33134
PH (305) 666-7909 FAX (305) 442-2530
lannes2garcia@gmail.com

SCALE: NTS

SURVEY NUMBER: 210815B



★ BEATRICE ROW ★

CORAL GABLES, FLORIDA

DE LA GUARDIA VICTORIA ARCHITECTS

224 Valencia Avenue
Coral Gables, FL 33134
Tel. 305-444-8363 - Fax 305-444-6614
dlgv@dlgvarchitects.com

ARPE ENGINEERING, INC.
2855 Le Jeune, Suite 1109
Coral Gables, FL 33134
Tel. 305-444-8809 - Fax 305-444-9827

FRANCISCO CUELLO JR., P.E., INC.
147 Alhambra Circle, Suite 200
Coral Gables, FL 33134
Tel. 305-367-0125x201
fcuello@fcuellope.com

HERBERT LESTER MARTIN, LANDSCAPE
ARCHITECT
5965 S.W. 38th Street
Miami, FL 33155
Tel. 305-790-4372
hlmartin@bellsouth.net

TERRA CIVIL ENGINEERING
4011 West Flagler Street, Suite 404
Miami, FL 33134
Tel. 305-499-5010
info@terraccivilengineering.com

OWNER
Beatrice Row LLC
744 Edmore Way #2
Coral Gables, FL 33134
Attn: Marjorie Lange
Tel. 305-790-0100

GENERAL NOTES

All work shall be in compliance with 2010 Florida Building Code, High Velocity Hurricane Zone.

All construction shall be performed in accordance with all codes, regulations, and restrictions having jurisdiction over this project. The builder shall be responsible for being familiar with the applicable codes, regulations, and restrictions, and their relevance to this project.

All finish, fixtures, and equipment selections shall be approved by the Owner.

If any errors, omissions or contradictions appear in the construction working drawings, specifications, or other construction documents, the Construction Manager shall notify the Architect in writing. No work shall continue until such as the error, omission, or contradiction has been rectified. Giving of said notice to the Architect does not relieve the builder of his responsibility to check, verify, and coordinate the dimensions or any other portion of the construction documents.

All Electrical to be installed at the following heights, unless otherwise noted:
 Switches - 48" above finish floor
 Convenience outlets - 14" above finish floor
 Above-counter outlets - 42" above finish floor

WALL TYPE KEY

NOTE: REFER TO ENGINEERING CONSULTANT'S DRAWINGS FOR DESIGN AND SPECIFICATION OF STRUCTURAL SYSTEMS. REFER TO ARCHITECT'S DRAWINGS FOR WALL LOCATIONS AND FINISH ASSEMBLIES. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES. EACH WALL TYPE SHOWN BELOW MAY NOT BE USED ON EACH PLAN.

	Cast-in-Place Concrete Column with Sluice Finish
	Cast-in-Place Concrete Column with Concrete Stone Cladding
	Concrete Block Wall
	Boxed Steel Tube
	Wood Post
	Load-bearing Framed Wall with Plywood Sheathing Each Face and Exterior Wood Siding
	Interior Framed Wall with Owens Corning QUIETZONE QUIET FOUNDATIONS noise control sound insulation system (follow manufacturer's recommendations for installation)
	Interior Framed Wall without Sound Insulation

SYMBOLS LEGEND

NOTE: REFER TO ENGINEERING CONSULTANTS' DRAWINGS FOR DESIGN AND SPECIFICATION OF SYSTEMS. REFER TO ARCHITECT'S DRAWINGS FOR LOCATIONS ONLY. CONTRACTOR TO NOTIFY ARCHITECT OF ANY DISCREPANCIES. EACH SYMBOL SHOWN BELOW MAY NOT BE USED ON EACH PLAN.

ARCHITECTURAL	ELECTRICAL	MECHANICAL	LIGHTING
 Room Number Tag	 Electrical Meter	 Thermostat	 Wall Sconce
 Exterior Door Tag	 Main Distribution Panel	 Exhaust Fan	 Chandelier
 Interior Door Tag	 Automatic Transfer Switch	 Exhaust Wall Cap	 Wall Sconce with Motion Sensor
 Window Tag	 Electrical Panel	 A/C Supply Wall Register	 Picture Light
 Shutter Tag	 Convenience Outlet	 A/C Return Wall Register	 Picture Light with Recessed Clock Outlet
 Railing Tag	 Swid Convenience Outlet	 A/C Supply Ceiling Register	 Eave Spotlight
 Interior Walls Tag (Sheet Number at Center)	 Waterproof Convenience Outlet	 A/C Return Ceiling Register	 Eave Spotlight with Motion Sensor
 Centerline of Foundation Wall, see Structural Drawings	 Floor Convenience Outlet	 Exhaust Through Roof	 Surface-Mounted Ceiling Light
 Elevation Tag (Top of Fin. Floor)	 Ceiling Convenience Outlet	PLUMBING	
 Building Section Cut Line	 Above Counter Convenience Outlet	 Instant Water Heater (Tankless)	 Recessed Ceiling Light
 Wall Section Cut Line	 Swid Above Counter Outlet	 Hose Bibb	 Pendant Light
 Stone Cladding Tag	 Half-Switched Convenience Outlet	 Downspout	 Under-Cabinet Light
 Floor Jct. Tag	 Swid Outlet, 1 Switched	 Rain Chain	 Fluorescent Light Strip
 Revision Mark	 Indicated Outlet	 Vent Through Roof	 Chandelier
 Light Fixture Tag	 Junction Box	 Landscape Drain Tag	 Ceiling Fan
 Ceiling Fan Tag	 Wall Switch	AUDIO-VISUAL	
	 Dimmer Wall Switch	 Telephone	
	 3-Way Wall Switch	 Data	
	 4-Way Wall Switch	 Television	
	Jamb Switch	Cable	
	Air Switch	AQUATIC	
	Ceiling-Mounted Smoke Detector	Pool/Spa Controller	
	Ceiling-Mounted Heat Detector		
	Carbon Monoxide Detector		

PROGRESS SET
08-17-18

O W E R
Beatrice Row LLC
244 Biltmore Way, #2
Coral Gables, Florida 33134
Tel: 305-995-0108

de la Guardia Victoria Architects & Urbanists, Inc.
244 Biltmore Avenue, Coral Gables, FL 33134
Tel: 305-995-0108
★ BEATRICE ROW ★
744 BILTMORE WAY, CORAL GABLES, FLORIDA

GENERAL NOTES
&
SYMBOLS LEGEND

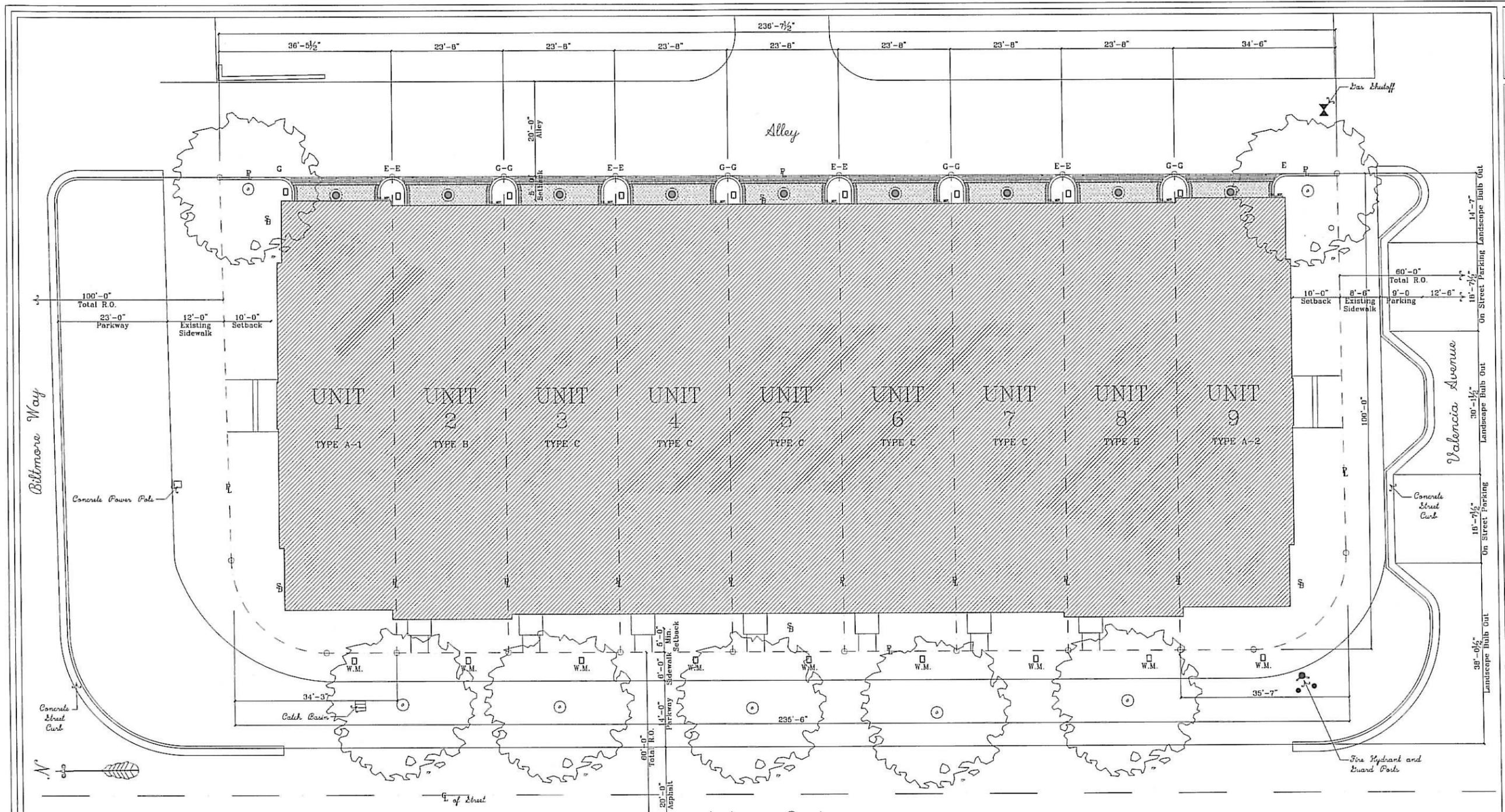
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O W N E R
Beatrice Row LLC
744 Biltmore Way, #2
Coral Gables, Florida
Tel: 305-442-0100

de la Guardia Victoria Architects & Urbanists, Inc.
221 Valencia Avenue, Coral Gables, FL 33134
★ BEATRICE ROW ★
744 BILTMORE WAY, CORAL GABLES, FLORIDA

SITE PLAN
Scale 1"=10'

A-1.0



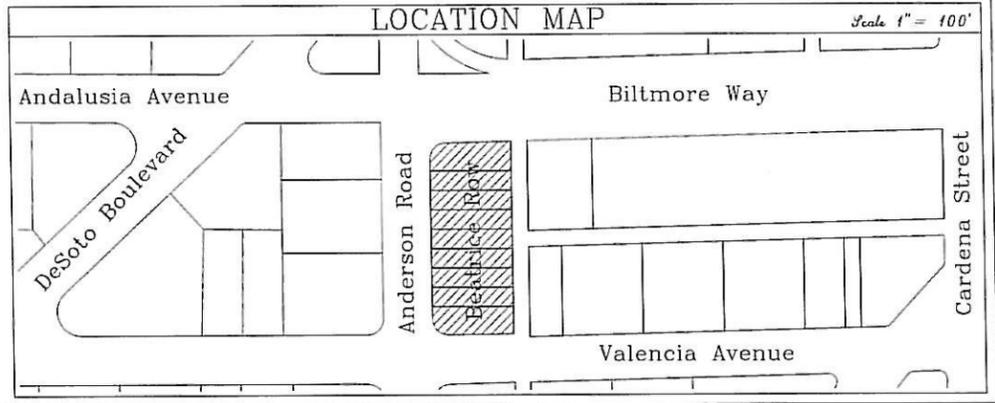
ZONING INFORMATION

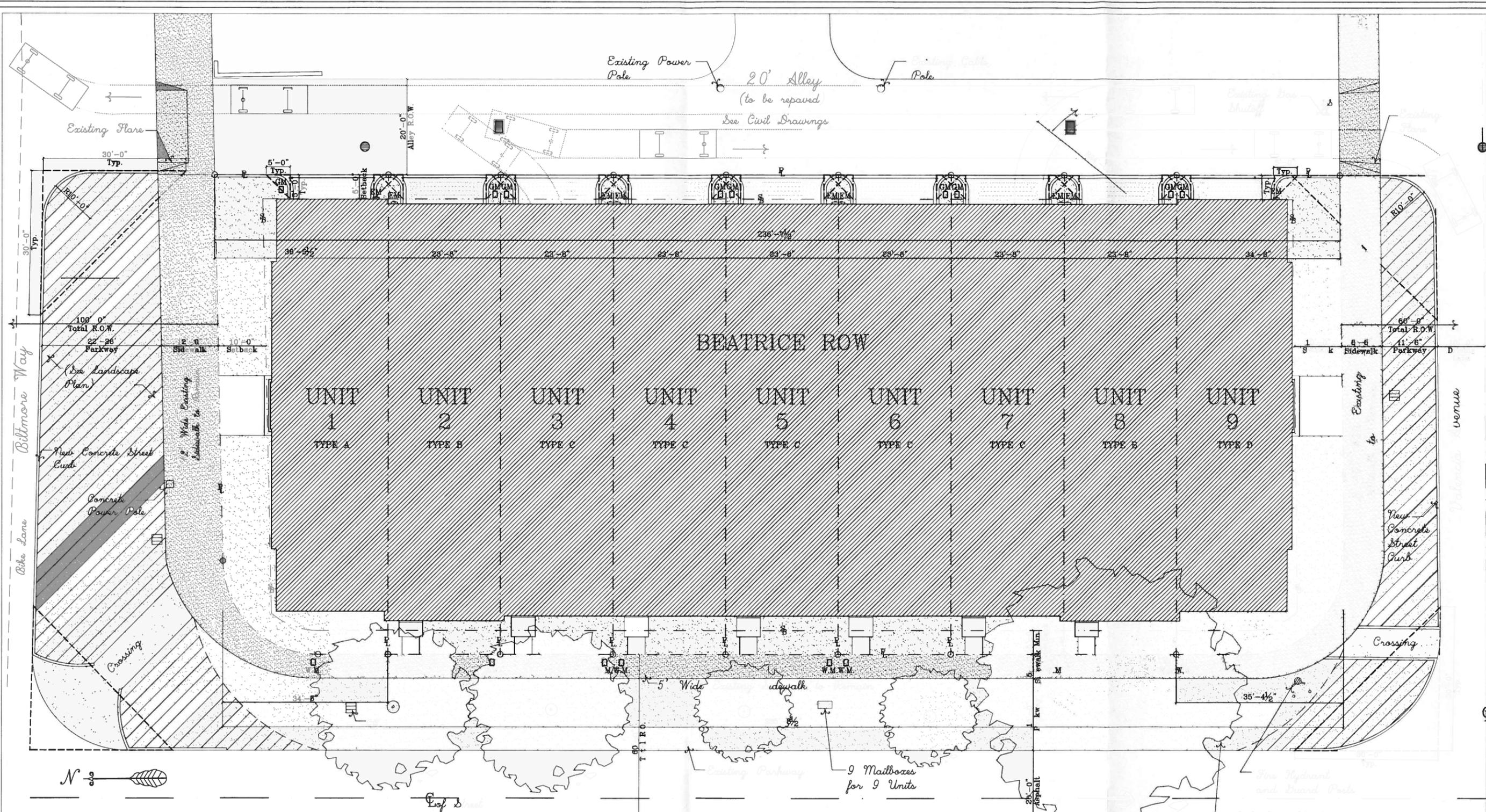
	ALLOWED	LOT 1	LOTS 2 & 8	LOTS 3 - 7	LOT 9	TOTAL-9 LOTS
RESIDENTIAL USE / MULTI-FAMILY SPECIAL AREA (TOWNHOUSE) / MULTI-FAMILY LOW DENSITY						
LOT SIZE		3,454 SQ. FT.	2,367 SQ. FT.	2,367 SQ. FT.	3,419 SQ. FT.	23,442 SQ. FT.
PARCEL WIDTH	22'-0" MIN.	34'-8" MIN.	23'-8"	23'-8"	34'-6" MIN.	23'-8" MIN.
DENSITY REQUIREMENT:	20 UNITS/ACRE (10.7 UNITS)	1 UNIT	2 UNITS	5 UNITS	1 UNIT	9 UNITS TOTAL
FLOOR AREA RATIO	2	1.20	1.68	1.65	1.21	1.53
TOTAL FLOOR AREA		6,549 SQ. FT.	5,597 SQ. FT.	5,524 SQ. FT.	5,548 SQ. FT.	49,912 SQ. FT.
EXCLUSIONS (GARAGES, UNENCLOSED PRIVATE TERRACES & LOBBIES)		1,407 SQ. FT.	1,625 SQ. FT.	1,618 SQ. FT.	1,407 SQ. FT.	14,154 SQ. FT.
NET FLOOR AREA		4,142 SQ. FT.	3,972 SQ. FT.	3,906 SQ. FT.	4,142 SQ. FT.	35,758 SQ. FT.
OPEN SPACE	25% min.	40% (1,377 SQ. FT.)	25% (599 SQ. FT.)	26% (622 SQ. FT.)	39% (1,340 SQ. FT.)	30% (7,025 SQ. FT.)
SETBACKS:						
FRONT	5'-0" MIN.	6'-0"	7'-0"	6'-0"	9'-0"	7'-0" MIN.
REAR	5'-0" MIN.	6'-0"	6'-0"	6'-0"	5'-0"	5'-0" MIN.
SIDE (INTERIOR)	0'-0" MIN.	0'-0"/0'-0"	0'-0"/0'-0"	0'-0"/0'-0"	0'-0"	0'-0"
SIDE (STREET)	10'-0" MIN.	10'-0"	-	-	10'-0"	10'-0"
HEIGHT:	45'	40'-6"	40'-6"	40'-6"	40'-6"	40'-6"
STORIES	3 STORIES	3 STORIES	3 STORIES	3 STORIES	3 STORIES	3 STORIES
PARKING REQUIREMENTS	2 SPACES/UNIT MIN.	2 SPACES / UNIT	4 SPACES / UNIT	4 SPACES / UNIT	2 SPACES / UNIT	32 SPACES

Anderson Road

Legal Description
Lots 1, 2, 42 and 43 of Block 10, "Coral Gables Biltmore Section", according to the Plat thereof as recorded in Plat Book 20, at Page 25, of the public records of Dade County, Florida.

SITE PLAN
Scale 1" = 10'





ZONING INFORMATION

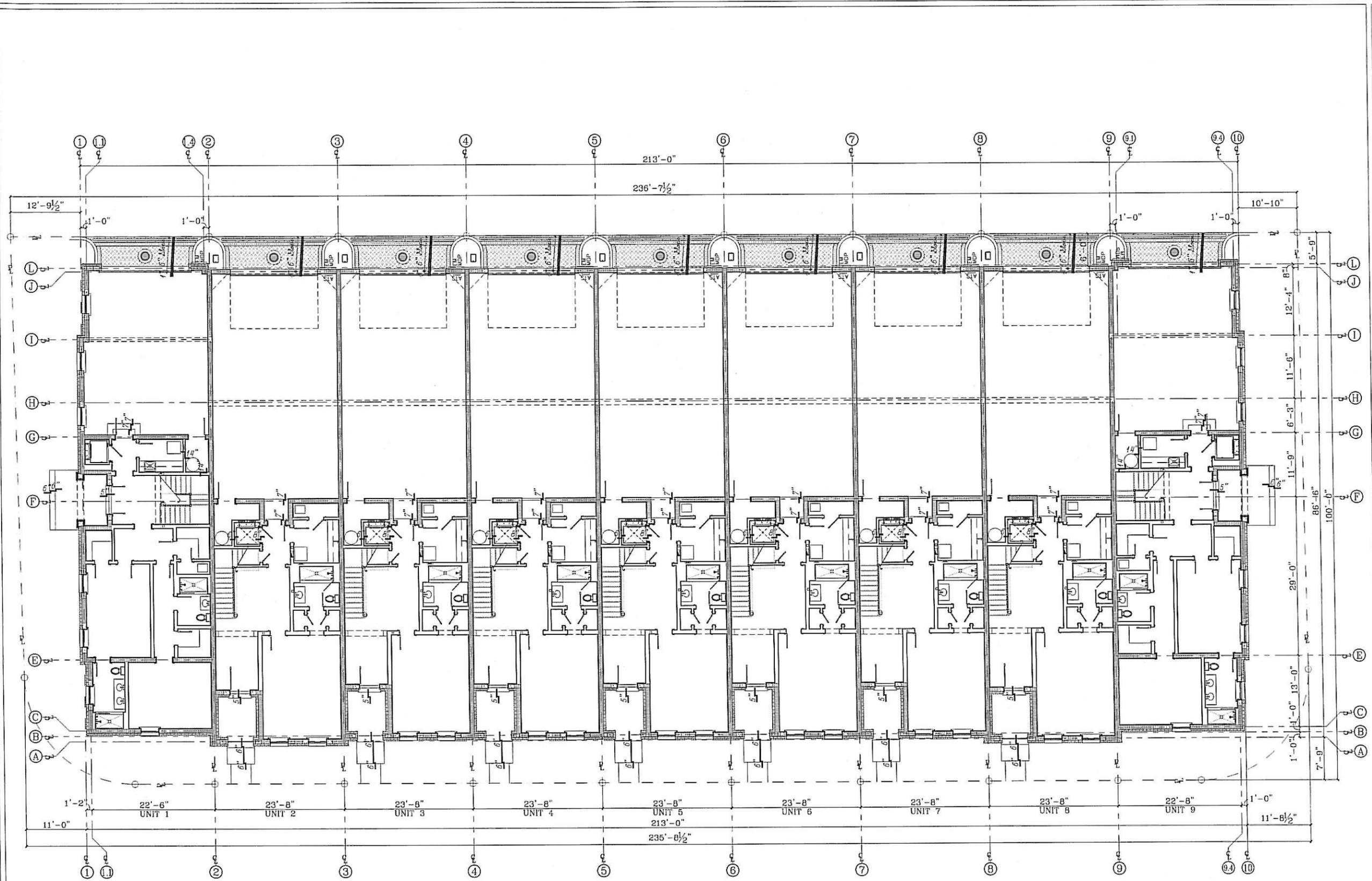
RESIDENTIAL USE / MULTI-FAMILY SPECIAL AREA (TOWNHOUSE) / MULTI-FAMILY LOW DENSITY						
	ALLOWED	LOT 1	LOTS 2 & 8	LOTS 3 - 7	LOT 9	TOTAL-9 LOTS
LOT SIZE		3,454 SQ. FT.	2,367 SQ. FT.	2,367 SQ. FT.	3,419 SQ. FT.	23,442 SQ. FT.
PARCEL WIDTH	22' MIN.	34' MIN.	23'-8"	23'-8"	34' MIN.	23'-8" MIN.
DENSITY REQUIREMENT:	20 UNITS/ACRE (10.7 UNITS)	1 UNIT	2 UNITS	5 UNITS	1 UNIT	9 UNITS TOTAL
FLOOR AREA RATIO	2	1.20	1.68	1.65	1.21	1.53
TOTAL FLOOR AREA		5,549 SQ. FT.	5,597 SQ. FT.	5,524 SQ. FT.	5,549 SQ. FT.	49,912 SQ. FT.
EXCLUSIONS (GARAGES, UNENCLOSED PRIVATE TERRACES & LOBBIES)		1,407 SQ. FT.	1,625 SQ. FT.	1,616 SQ. FT.	1,407 SQ. FT.	14,154 SQ. FT.
NET FLOOR AREA		4,142 SQ. FT.	3,972 SQ. FT.	3,906 SQ. FT.	4,142 SQ. FT.	35,758 SQ. FT.
OPEN SPACE	25% min.	40% (1,377 SQ. FT.)	25% (599 SQ. FT.)	28% (622 SQ. FT.)	39% (1,340 SQ. FT.)	30% (7,025 SQ. FT.)
SETBACKS:						
FRONT	5'-0" MIN.	9'-0"	7'-0"	8'-0"	9'-0"	7'-0" MIN.
REAR	6'-0" MIN.	5'-0"	6'-0"	6'-0"	5'-0"	5'-0" MIN.
SIDE (INTERIOR)	0'-0" MIN.	0'-0"/0'-0"	0'-0"/0'-0"	0'-0"/0'-0"	0'-0"	0'-0"

Legal Description

1. Coral Gables Billmore Sec PB 20-28 Lot 1 BLK 19474-4579 01/2001 2(S).
 2. Coral Gables Billmore Sec Lot 2 & Lot 43 & N 1/4 pt of Lot 42 BLK 10 PB 20-28. 19474-4579 01/2001 2(S).
 3. Coral Gables Billmore Sec PB 20-28 Lot 42 less N 1/4 pt BLK 10. 19474-4579 01/2001 2(S).
 "Coral Gables Billmore Section", according to the Plat thereof as recorded in Plat Book 20, at Page 28, of the public records of Dade County, Florida.

LOCATION MAP





FIRST FLOOR PLANS
 Scale 1/8" = 1'-0"

PROGRESS SET
 08-17-15

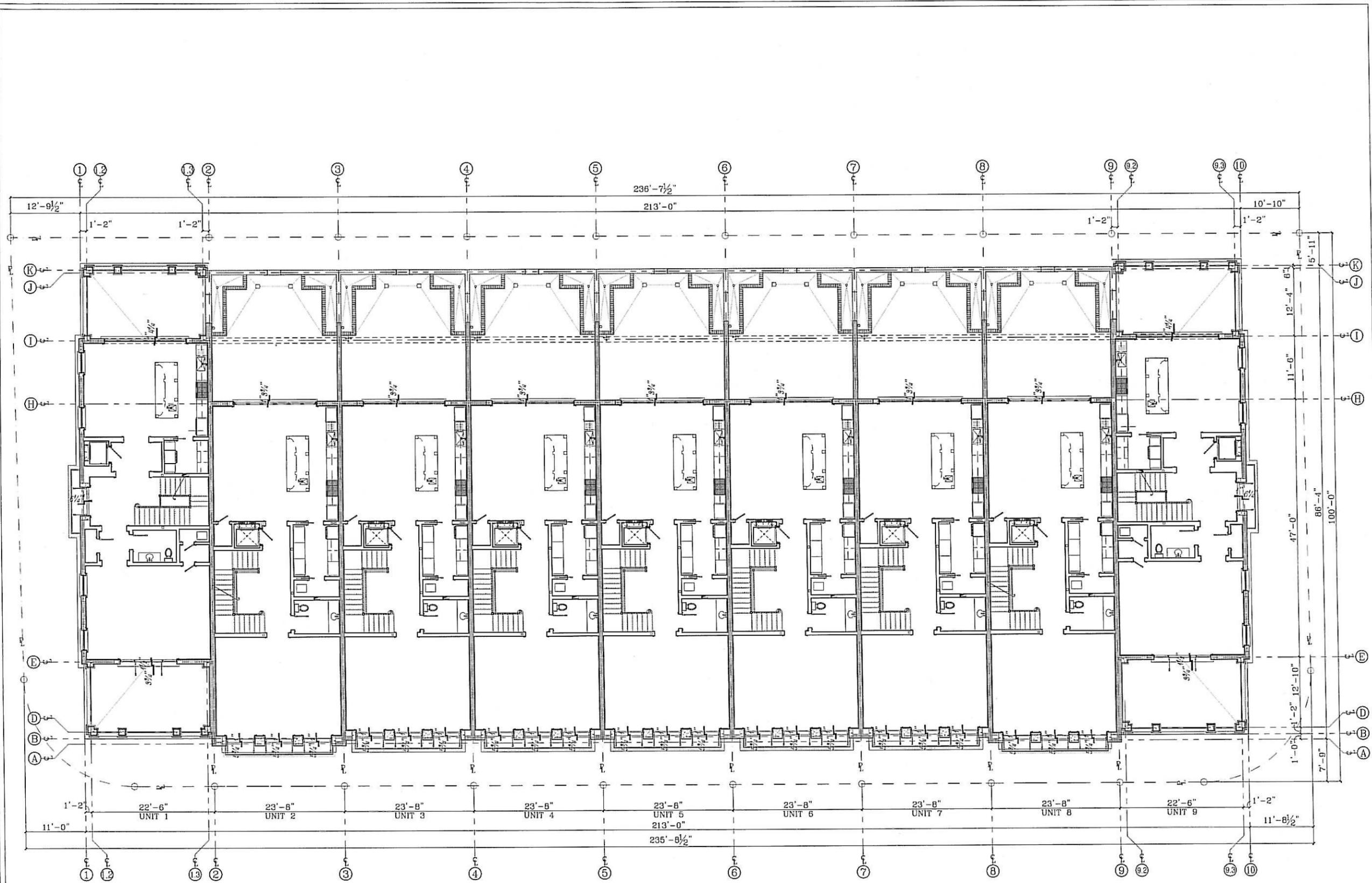
OWNER
 H&H, INC.
 244 BILTMORE WAY, SE
 CORAL GABLES, FL 33134
 TEL 561-788-0208

de la Guardia Victoria Architects & Urbanists, Inc.
 221 VANDER AVENUE, CORAL GABLES, FL 33134 TEL 305-441-0252 FAX 305-441-0811
BEATRICE ROW
 744 BILTMORE WAY, CORAL GABLES, FLORIDA

FIRST FLOOR PLANS
 Scale 1/8" = 1'-0"

A-2.1

The above drawings, ideas, and designs are sole property of the architects. No part thereof shall be copied, disclosed to others, or used in connection with any work other than for the specified project for which they have been prepared without the consent of the architects.



PROGRESS SET
08-17-18

O W H E R
Beatrix Row, LLC
744 Biltmore Way, Coral Gables, FL 33134
Tel: 305-796-0108

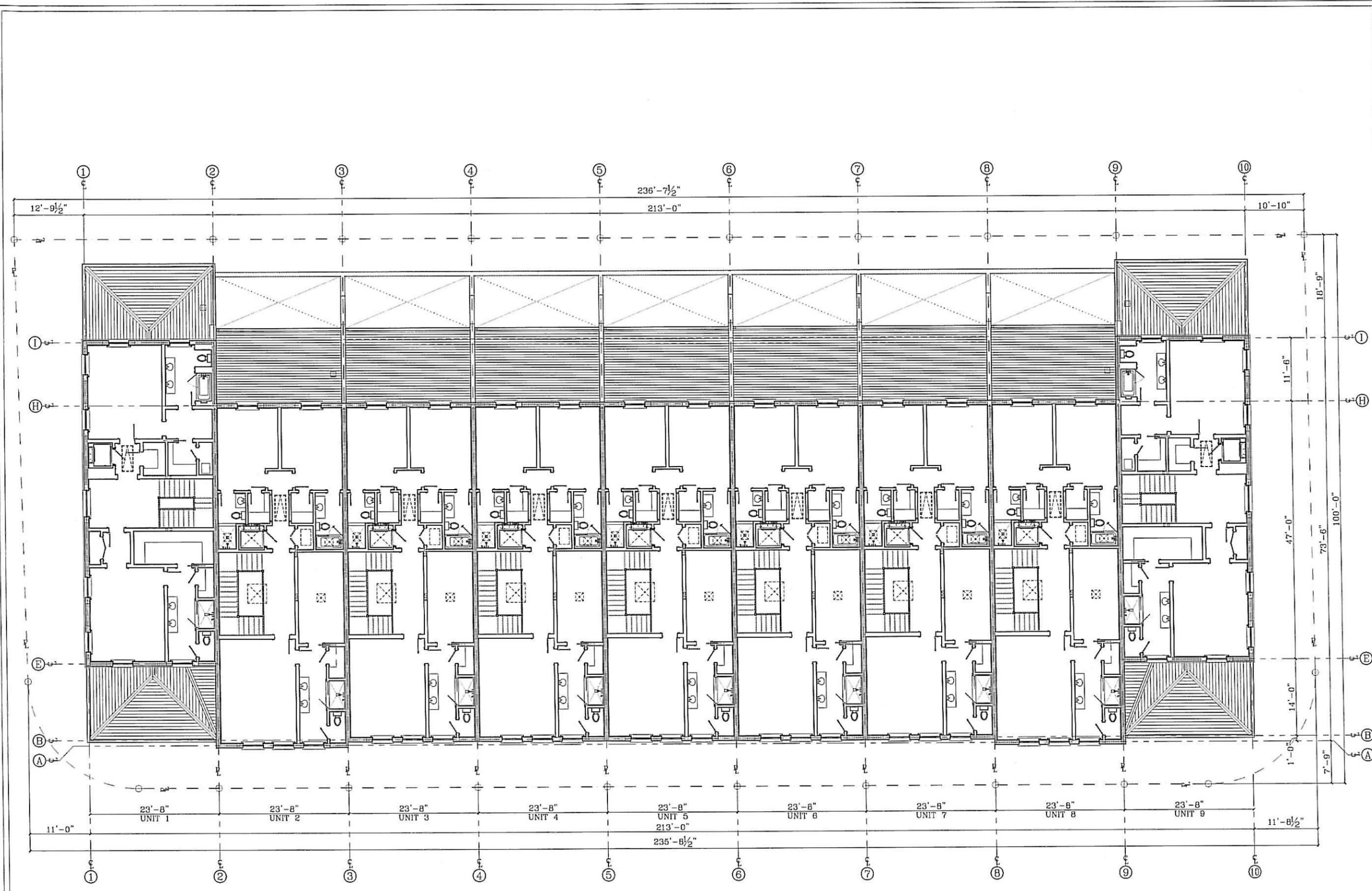
de la Guardia Victoria Architects & Urbanists, Inc.
221 Valencia Avenue, Coral Gables, FL 33134 Tel: 305-441-0288 Fax: 305-441-0287
BEATRICE ROW
744 BILTMORE WAY, CORAL GABLES, FLORIDA

SECOND FLOOR PLANS
Scale 1/8" = 1'-0"

A-2.2

SECOND FLOOR PLANS
Scale 1/8" = 1'-0"

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PROGRESS SET
08-17-13

O W H E R
Beatrix Row LLC
274 Biltmore Way, #2
Coral Gables, Florida
Tel: 305-766-0118

de la Guardia Victoria Architects & Urbanists, Inc.
251 Valencia Avenue, Coral Gables, FL 33134
Tel: 305-441-4444
BEATRICE ROW
744 BILTMORE WAY, CORAL GABLES, FLORIDA

THIRD FLOOR PLANS
Scale 1/8" = 1'-0"

A-2.3

THIRD FLOOR PLANS
Scale 1/8" = 1'-0"

The above drawings, ideas, and designs are sole property of the architects. No part thereof shall be copied, disclosed to others, or used in connection with any work other than for the specified project for which they have been prepared without the consent of the architects.

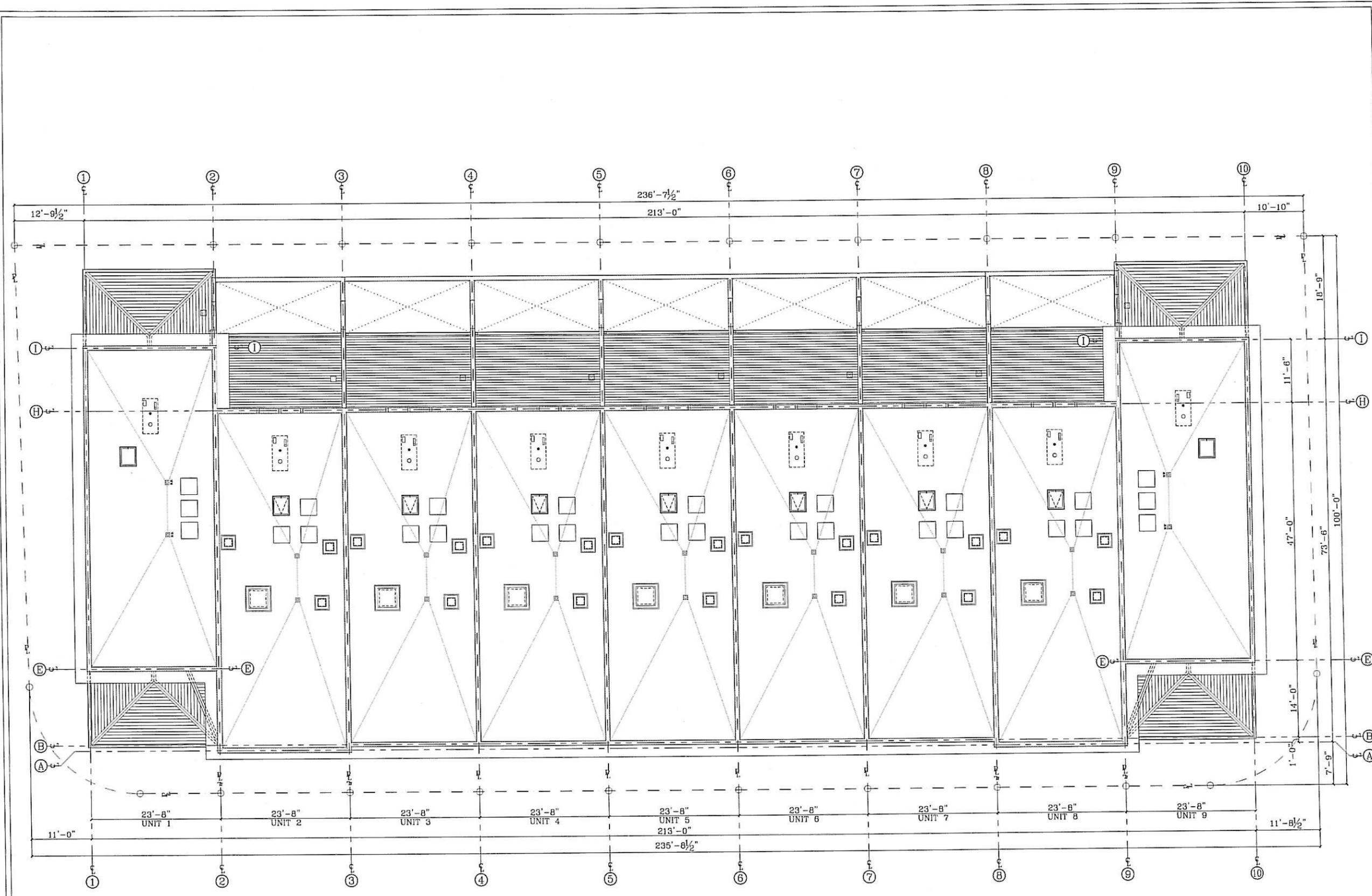
PROGRESS SET
0.0 - 1.7 - 1.5

OWNER
Beatrice Row LLC
744 Baltimore Way, #2
Coral Gables, FL 33134
Tel: 305-442-0282

de la Guardia Victoria Architects & Urbanists, Inc.
224 Valencia Avenue, Coral Gables, FL 33134
Tel: 305-442-0282 Fax: 305-442-0287
BEATRICE ROW
744 BALTIMORE WAY, CORAL GABLES, FLORIDA

ROOF PLANS
Scale 1/8" = 1'-0"

A-2.4



ROOF PLANS
Scale 1/8" = 1'-0"

The above drawings, ideas, and designs are sole property of the architects. No part thereof shall be copied, disclosed to others, or used in connection with any work other than for the specified project for which they have been prepared without the consent of the architects.

O W M E R
Beatrix Row, LLC
744 Biltmore Way, #2
Coral Gables, Florida
Tel: 305-755-0102

de la Guardia Victoria Architects & Urbanists, Inc.
224 Valencia Avenue, Coral Gables, FL 33134
Tel: 305-441-4411
BEATRICE ROW
744 BILTMORE WAY, CORAL GABLES, FLORIDA

BILTMORE WAY
ELEVATION
Scale: 1/4" = 1'-0"

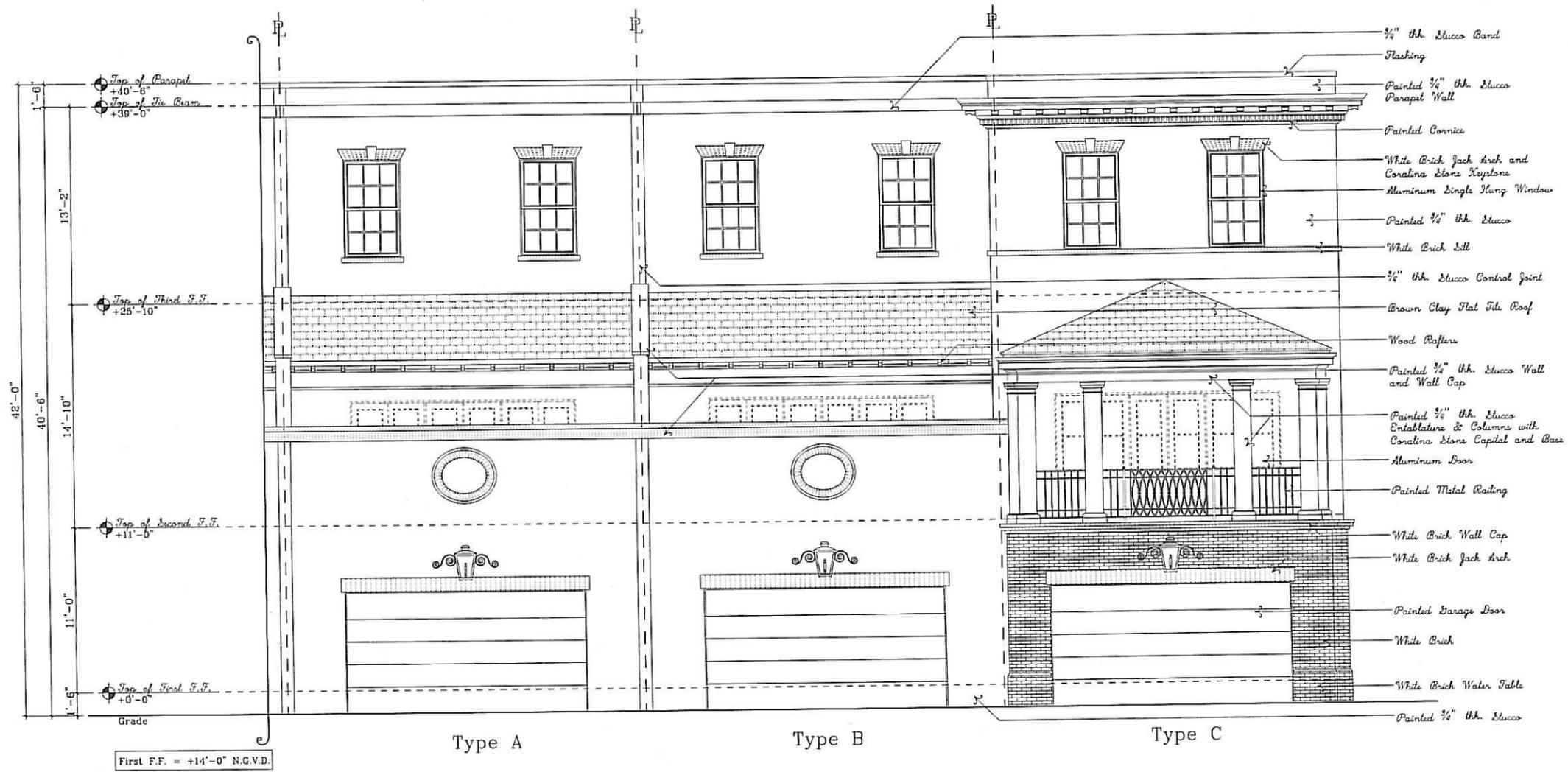
A-3.1



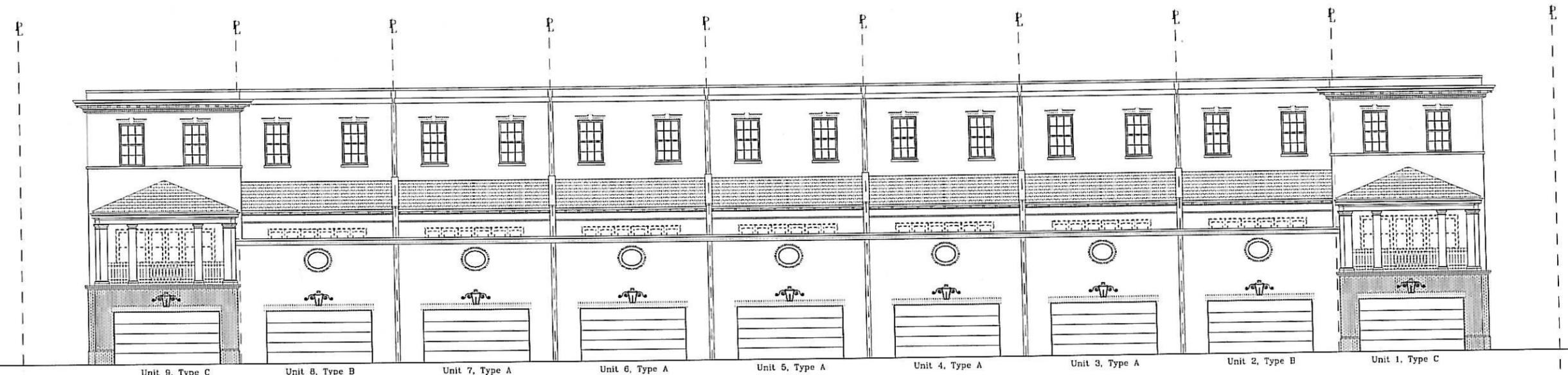
First F.F. = +14'-0" N.G.V.D.

Biltmore Way Elevation
Type C
(Valencia Avenue Unit 9 Elevation is Mirrored Image)

Elevation
Scale 1/4" = 1'-0"



Alley Typ. Elevation
 Scale 1/4" = 1'-0"



Alley Elevation
 Scale 1/8" = 1'-0"

PROGRESS SET
 0.0-1.7-1.9

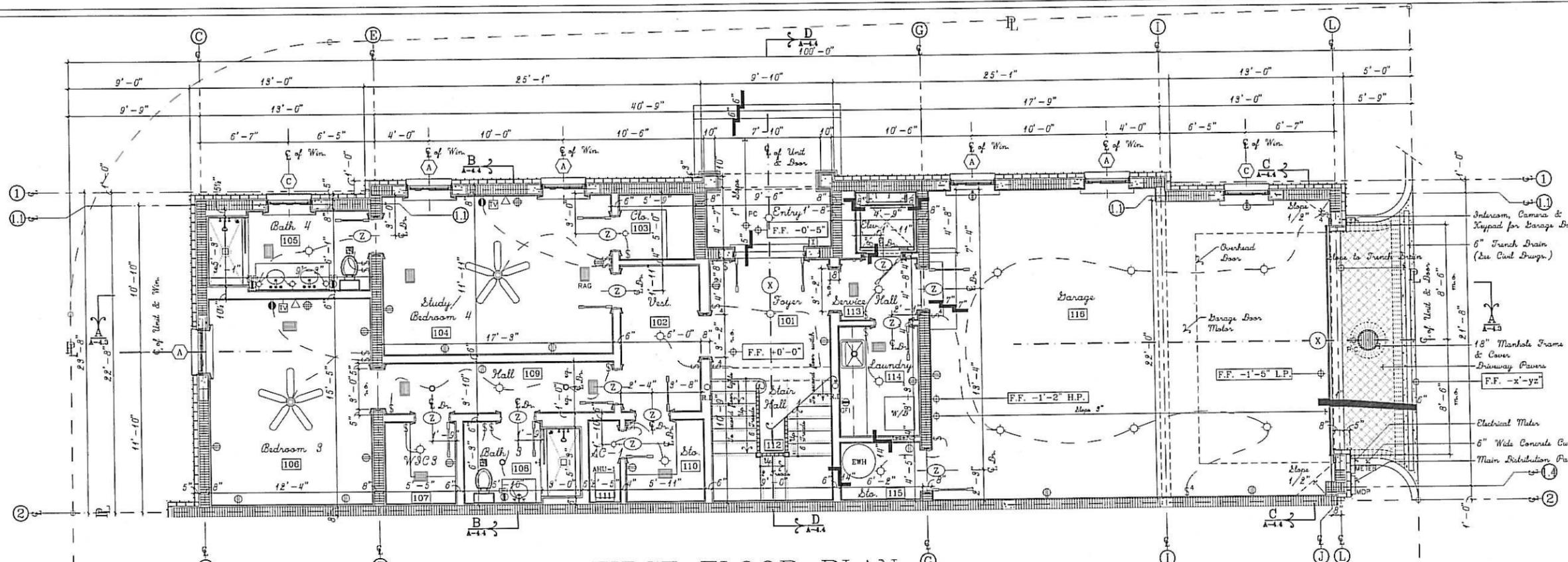
OWNER
 BEATRICE ROW LLC
 744 BILTMORE WAY, #2
 CORAL GABLES, FL 33134
 (305) 441-1234
 (305) 441-1235

de la Guardia Victoria Architects & Urbanists, Inc.
 224 Valencia Avenue, Coral Gables, FL 33134 (305) 441-1234
 ★ BEATRICE ROW ★
 744 BILTMORE WAY, CORAL GABLES, FLORIDA

ALLEY ELEVATION
 Scale: Varies

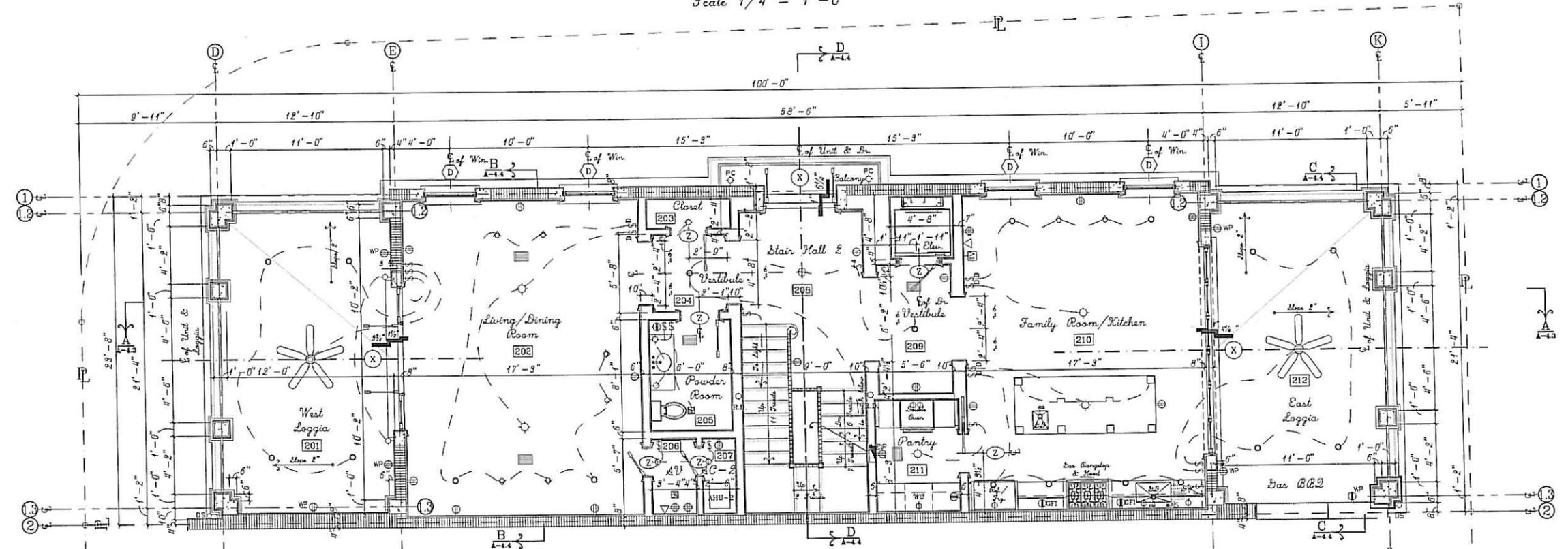
A-3.3

The above drawings, ideas, and designs are sole property of the architects. No part thereof shall be copied, disclosed to others, or used in connection with any work other than for the specified project for which they have been prepared without the consent of the architects.



FIRST FLOOR PLAN

Unit A
Scale 1/4" = 1'-0"



SECOND FLOOR PLAN

Unit A
Scale 1/4" = 1'-0"

PROGRESS SET
0.0-1.7-1.0

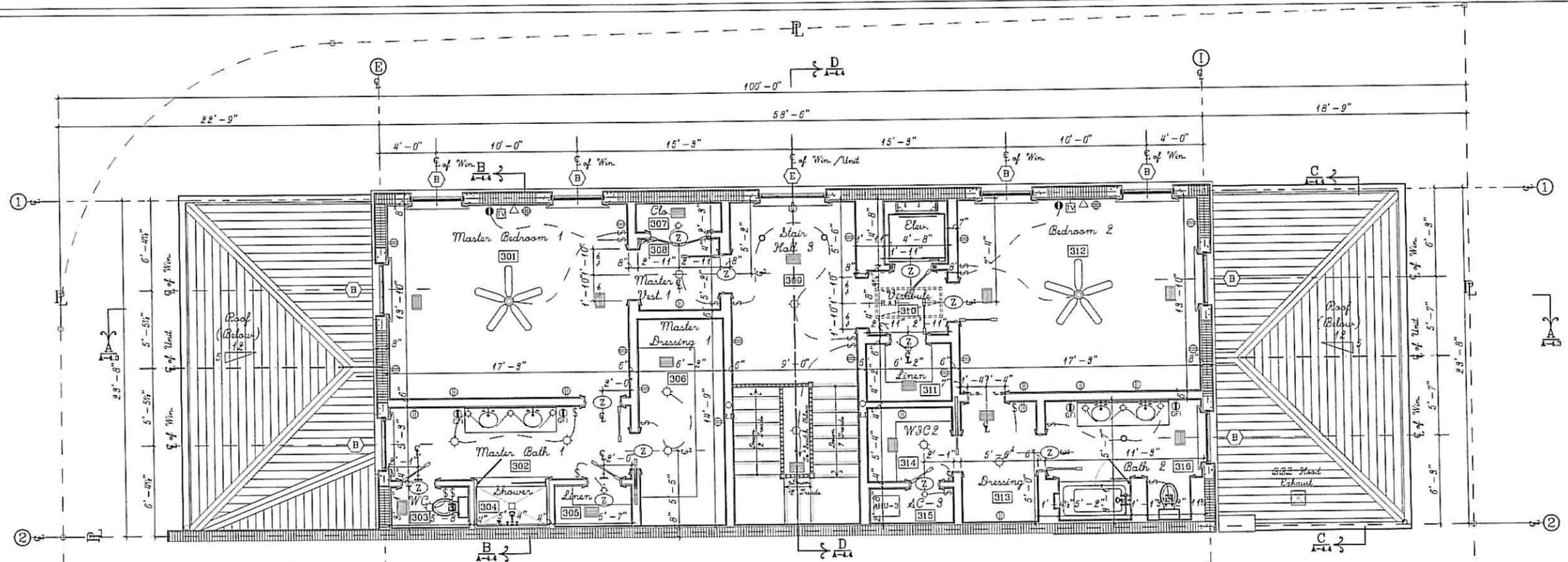
OWNER
Bentley Row LLC
744 Biltmore Way, #2
Coral Gables, Florida 33134
Tel: 305-768-1058

de la Guardia Victoria Architects & Urbanists, Inc.
231 Venecia Avenue, Coral Gables, FL 33134
Tel: 305-441-8500 Fax: 305-441-8517
BEATRICE ROW
744 BILTMORE WAY, CORAL GABLES, FLORIDA

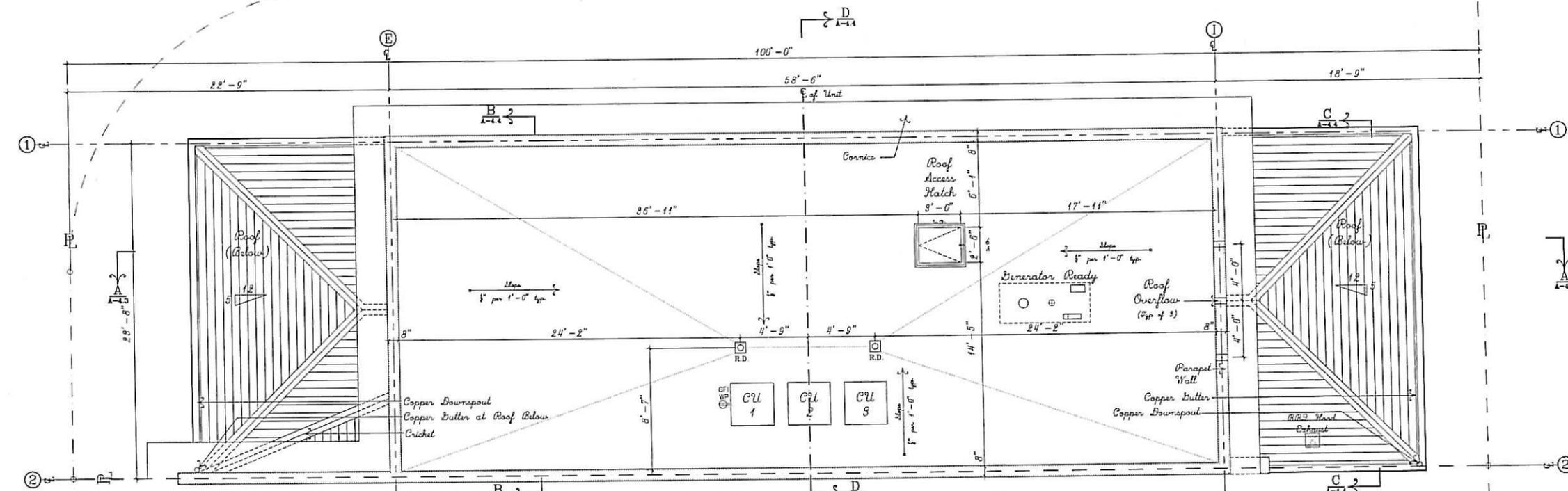
UNIT A
FIRST & SECOND
FLOOR PLANS
Scale 1/4"=1'-0"

A-4.1

The above drawings, ideas, and designs are sole property of the architects. No part thereof shall be copied, disclosed to others, or used in connection with any work other than for the specified project for which they have been prepared without the consent of the architects.



THIRD FLOOR PLAN
 Unit A
 Scale 1/4" = 1'-0"



ROOF PLAN
 Unit A
 Scale 1/4" = 1'-0"

PROGRESS SET
 0.0-1.7-1.0

OWNER
 Beatrice Row LLC
 244 Biltmore Way, Coral Gables, FL 33134
 (305) 444-8888 Fax: (305) 444-8887

de la Guardia Victoria Architects & Urbanists, Inc.
 224 Valencia Avenue, Coral Gables, FL 33134 (305) 444-8888 Fax: (305) 444-8887
BEATRICE ROW
 744 BILTMORE WAY, CORAL GABLES, FLORIDA

UNIT A
 THIRD FLOOR &
 ROOF PLAN
 Scale 1/4" = 1'-0"

A-4.2

The above drawings, ideas, and designs are sole property of the architect. No part thereof shall be copied, disclosed to others, or used in connection with any work other than for the specified project for which they have been prepared without the consent of the architect.

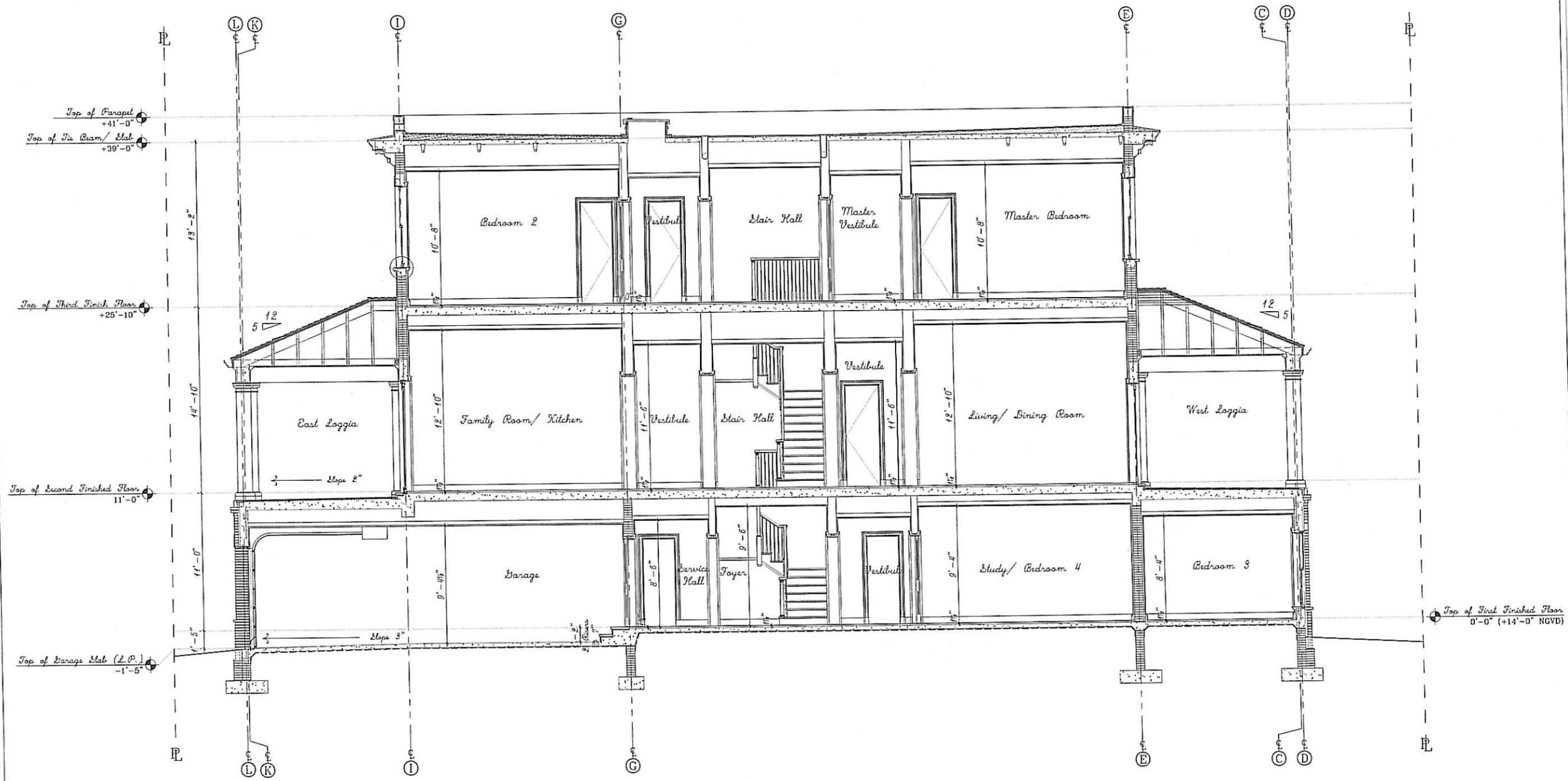
PROGRESS SET
0.0-1.7-1.0

OWNER
Henric Row LLC
244 University Ave., Suite 200
Coral Gables, Florida 33134
Tel: 305-441-0100

de la Guardia Victoria Architects & Urbanists, Inc.
221 Ventura Avenue, Coral Gables, FL 33134
Tel: 305-441-0100 Fax: 305-441-0111
BEATRICE ROW
744 BILTMORE WAY, CORAL GABLES, FLORIDA

TYPE A
LONGITUDINAL
SECTION
Scale 1/4" = 1'-0"

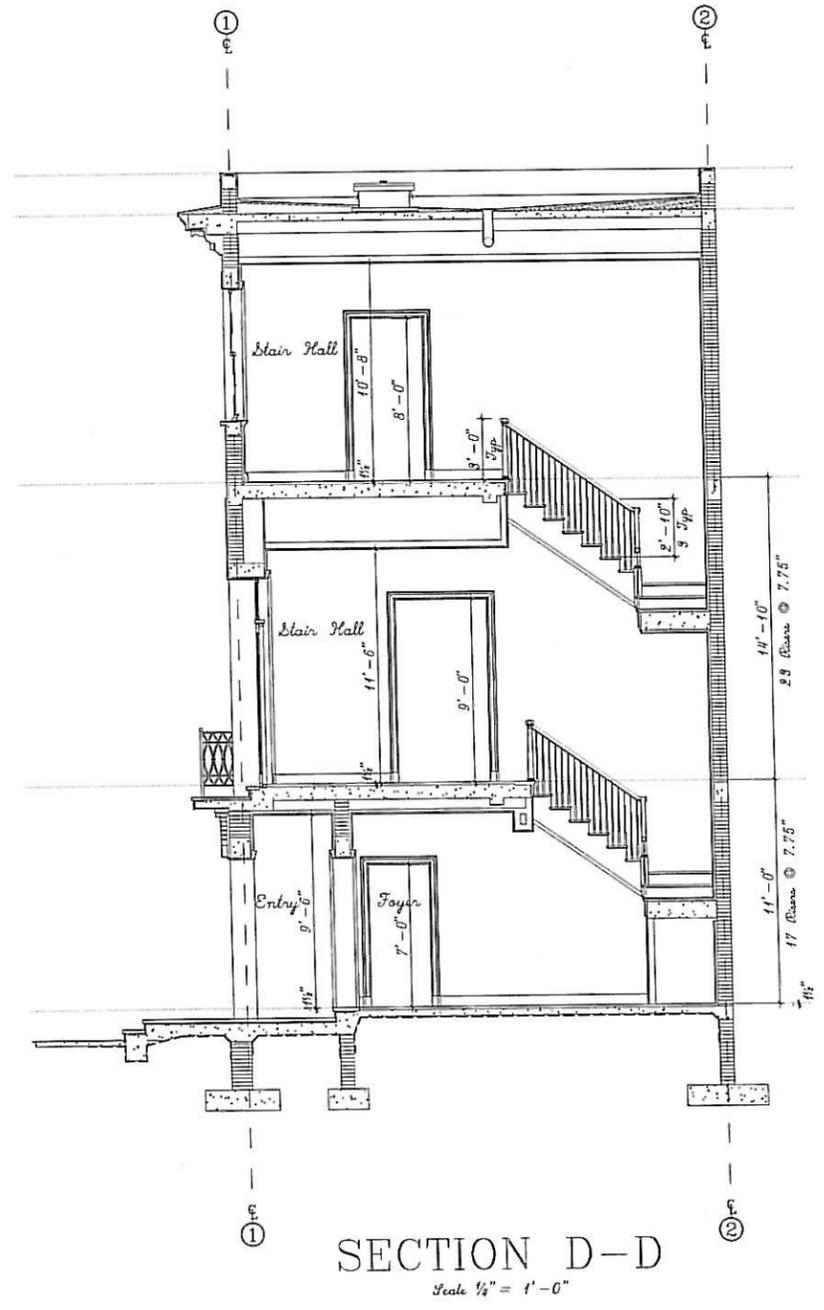
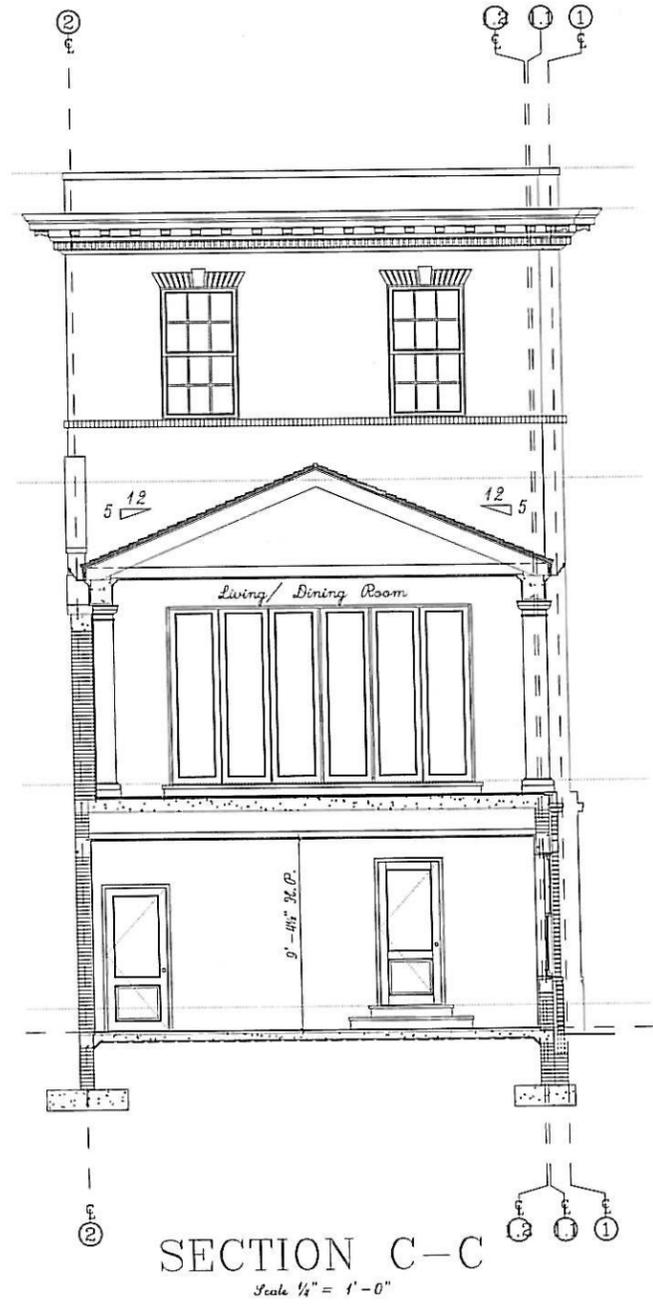
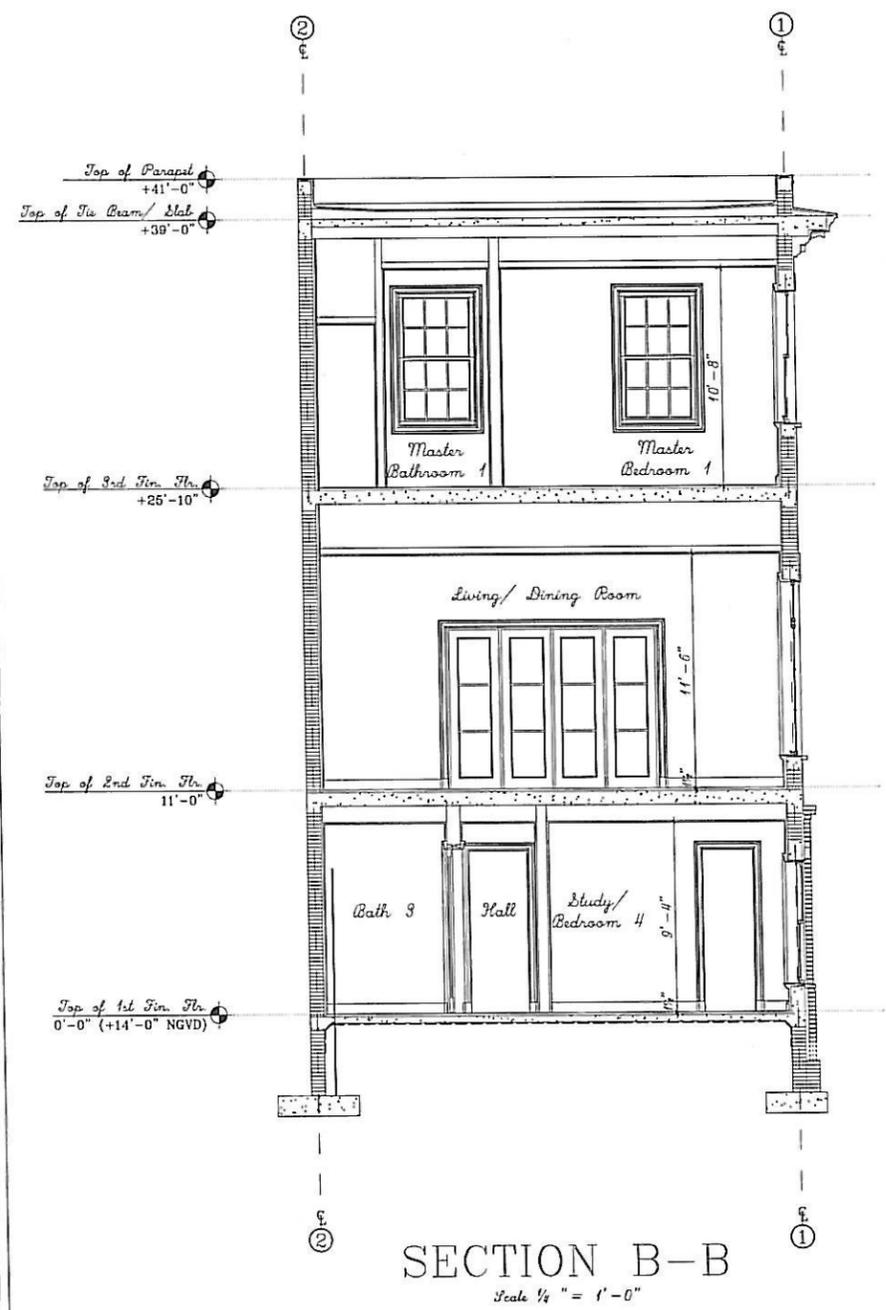
A-4.3

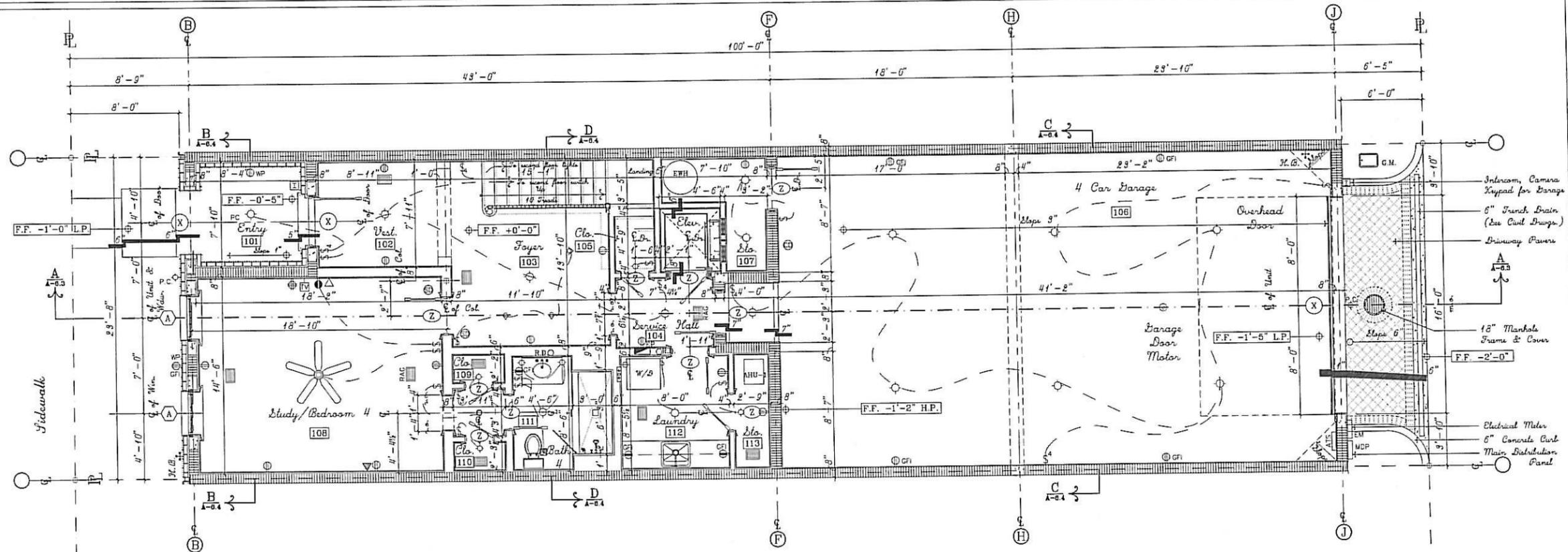


SECTION A-A

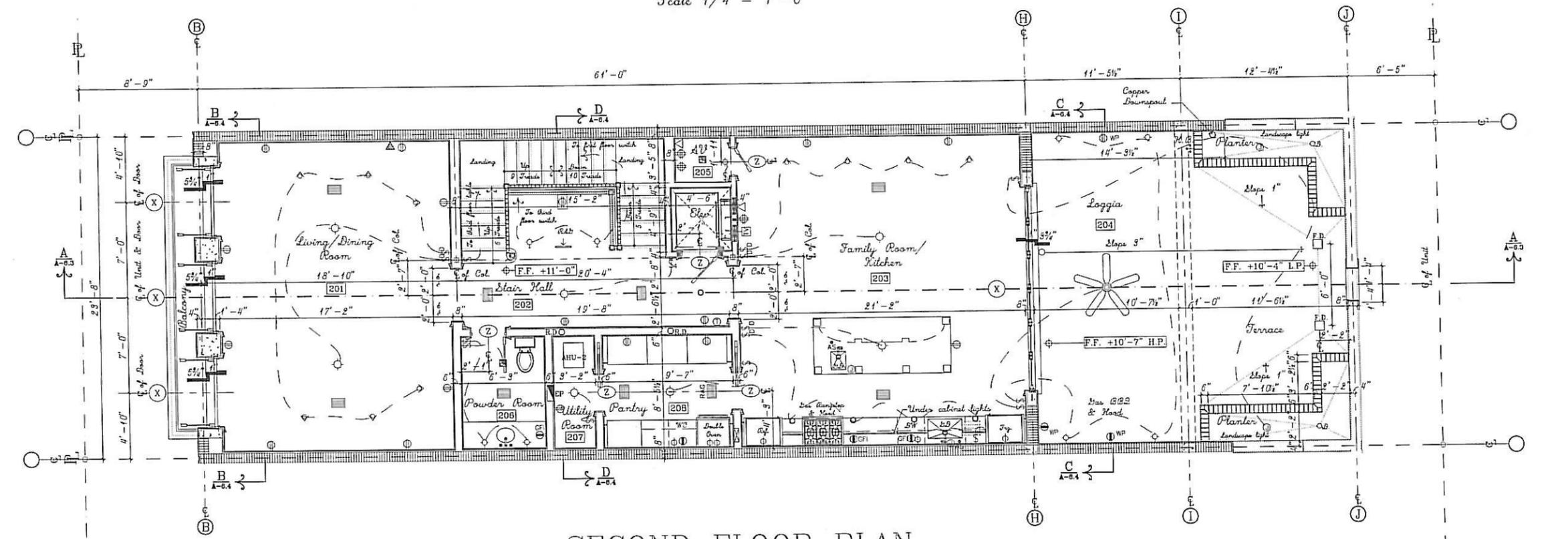
Unit A
Scale 1/4" = 1'-0"

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FIRST FLOOR PLAN
 Unit 6
 Scale 1/4" = 1'-0"



SECOND FLOOR PLAN
 Unit 6
 Scale 1/4" = 1'-0"

PROGRESS SET
 08-17-15

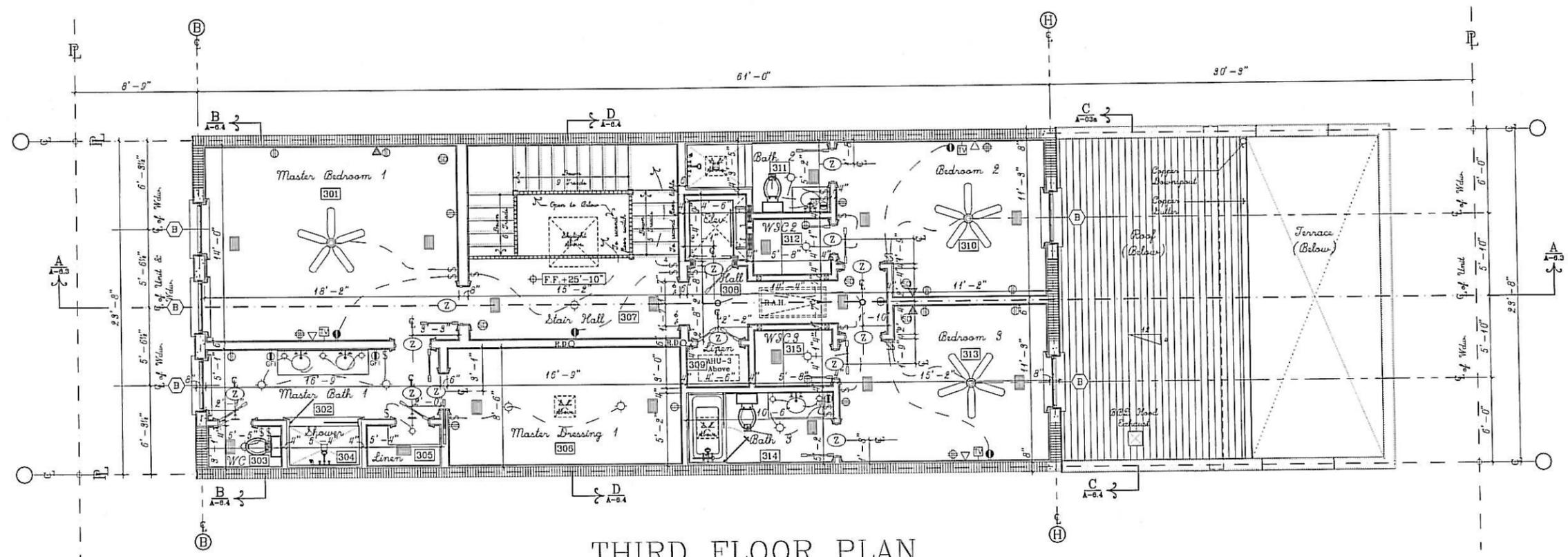
OWNER
 BEATRICE ROW LLC
 744 BILTMORE WAY, #2E
 CORAL GABLES, FL 33134
 (305) 441-8814
 (305) 441-8815

de la Guardia Victoria Architects & Urbanists, Inc.
 221 VANDERBILT AVENUE, CORAL GABLES, FL 33134
 (305) 441-8814
 (305) 441-8815
BEATRICE ROW
 744 BILTMORE WAY, CORAL GABLES, FLORIDA

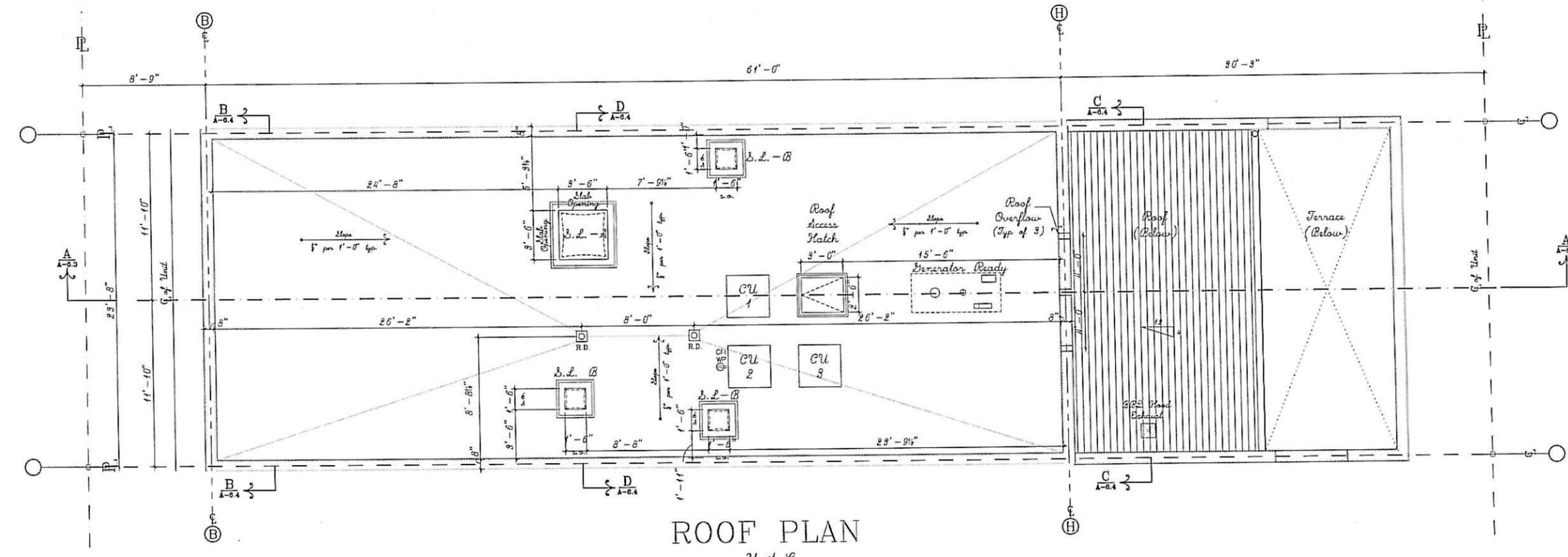
UNIT C
 FIRST & SECOND
 FLOOR PLANS
 Scale 1/4" = 1'-0"

A-6.1

The above drawings, ideas, and designs are sole property of the architect. No part thereof shall be copied, disclosed to others, or used in connection with any work other than for the specified project for which they have been prepared without the consent of the architect.



THIRD FLOOR PLAN
 Unit C
 Scale 1/4" = 1'-0"



ROOF PLAN
 Unit C
 Scale 1/4" = 1'-0"

PROGRESS SET
 0.8-1.7-1.5

OWNER
 Beatrix Row LLC
 744 Biltmore Way, #2
 Coral Gables, FL 33134
 Tel: 305-765-1025

de la Guardia Victoria Architects & Urbanists, Inc.
 201 Valencia Avenue, Coral Gables, FL 33134
 Tel: 305-444-8200 Fax: 305-444-0444
BEATRICE ROW
 744 BILTMORE WAY, CORAL GABLES, FLORIDA

UNIT C
 THIRD FLOOR &
 ROOF PLAN
 Scale 1/4" = 1'-0"

A-6.2

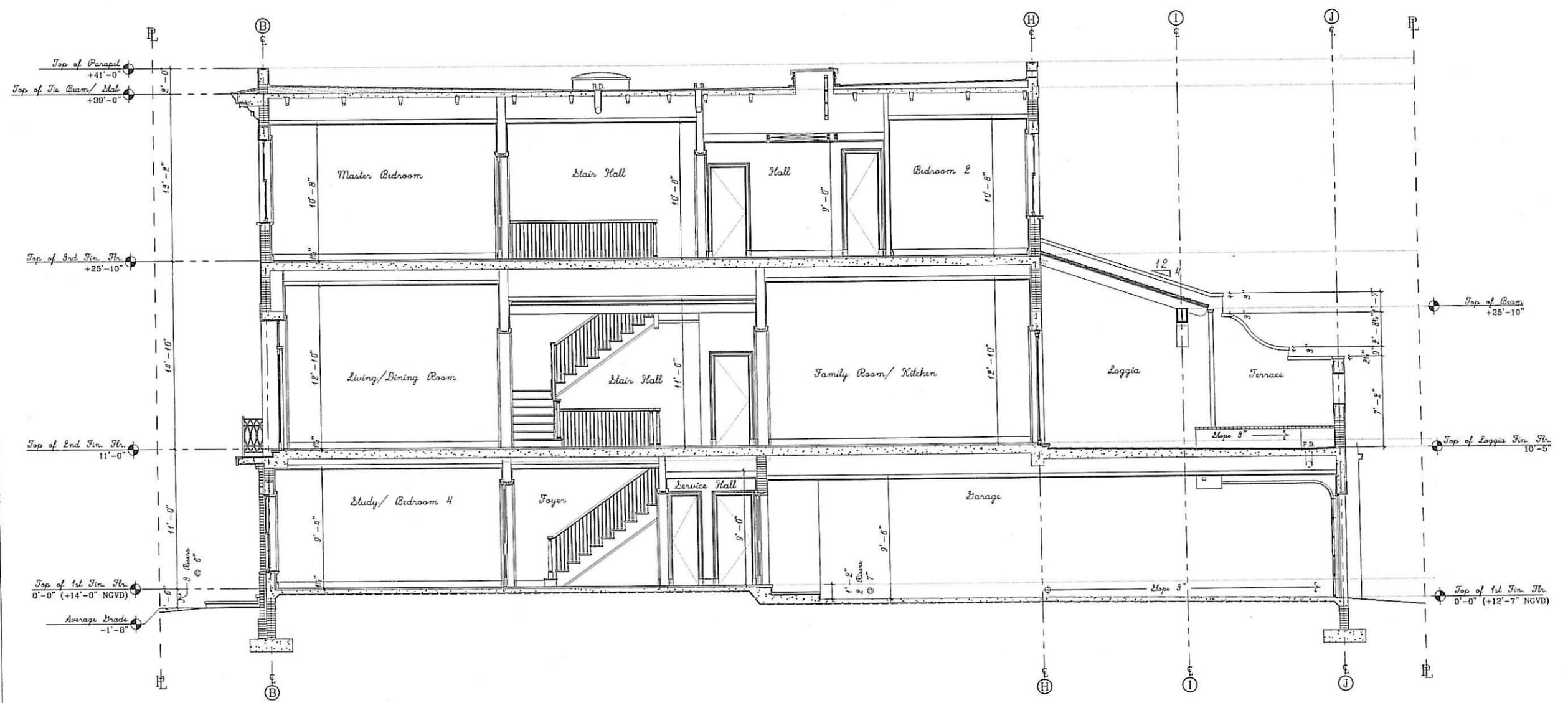
PROGRESS SET
0.8-1.7-1.5

OWNER
Beatrice Row LLC
744 Biltmore Way, Coral Gables, FL 33134
Tel: 305-441-1100

de la Guardia Victoria Architects & Urbanists, Inc.
201 Valencia Avenue, Coral Gables, FL 33134
Tel: 305-441-1100 Fax: 305-441-1101
BEATRICE ROW
744 BILTMORE WAY, CORAL GABLES, FLORIDA

TYPE C
LONGITUDINAL SECTION
Scale 1/4" = 1'-0"

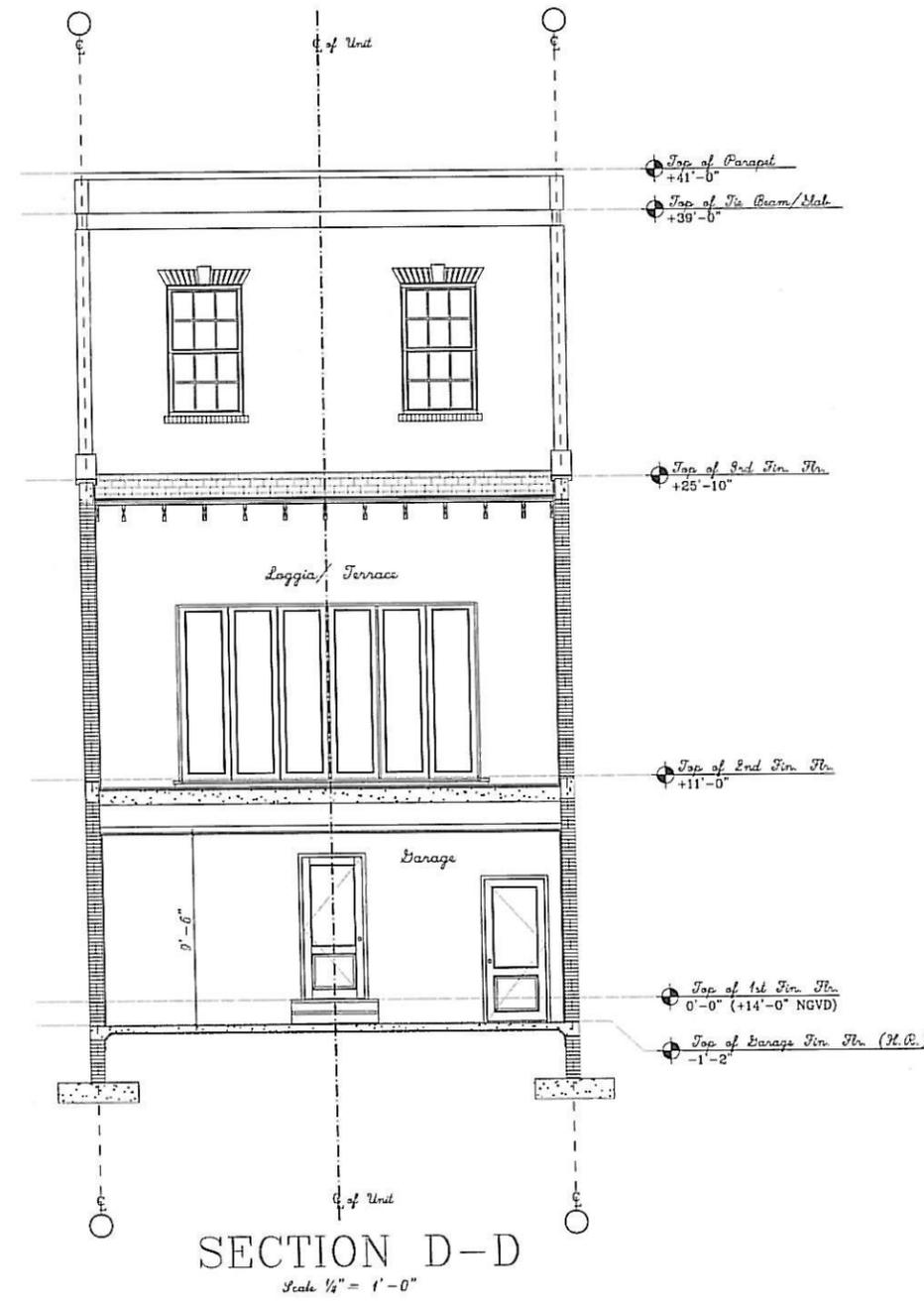
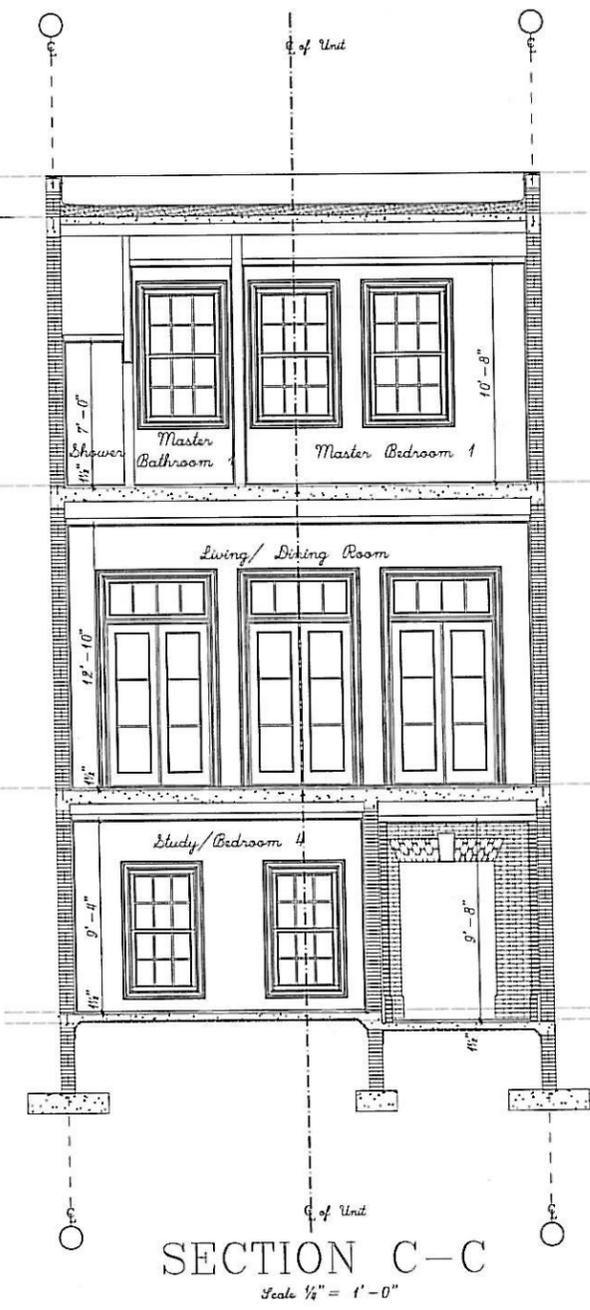
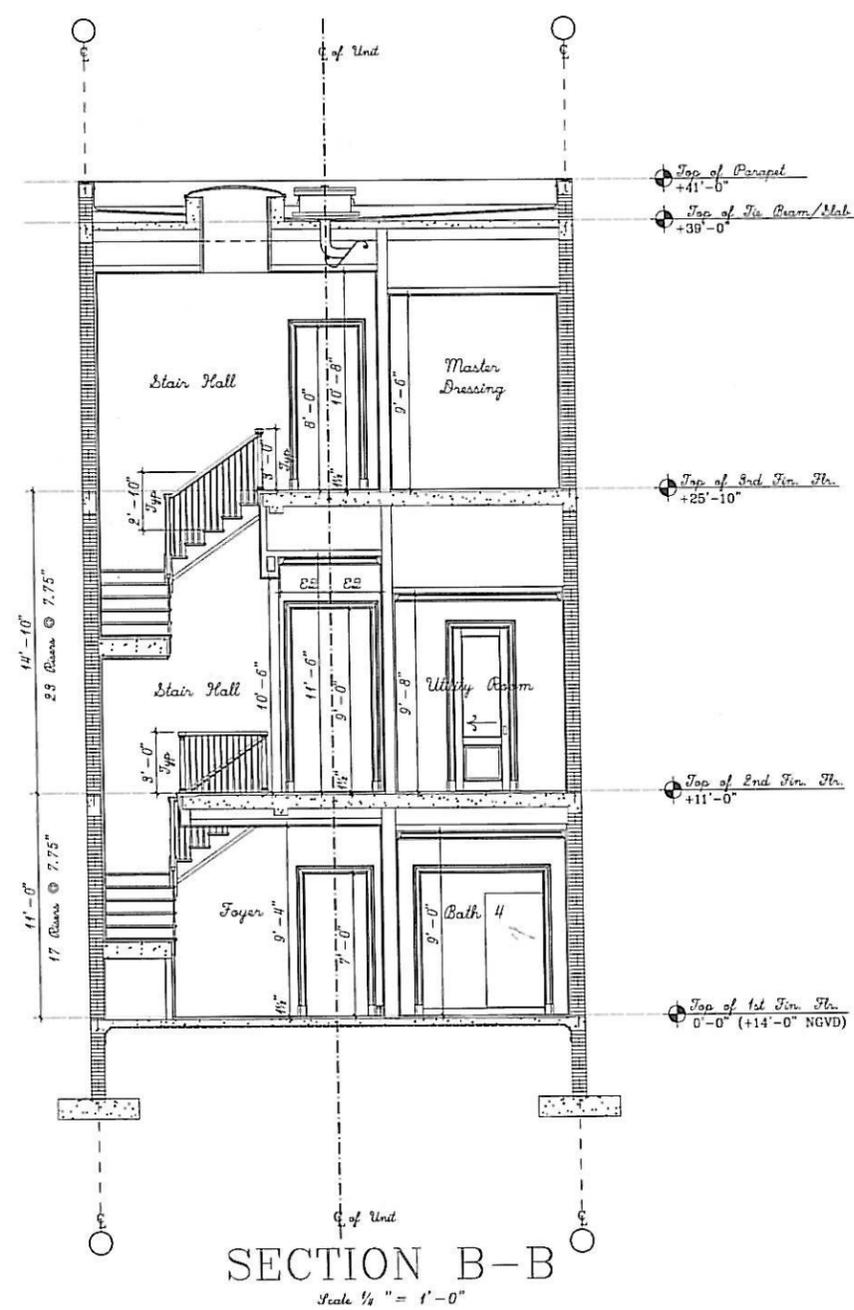
A-6.3



SECTION A-A

Unit C
Scale 1/4" = 1'-0"

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BEATRICE ROW

Underground Utility Statement

The intention is to bring electrical into the 9 townhouse units from the alley. The electrical feeds will be underground. The current overhead power lines servicing the existing apartment buildings will be removed. Gas will be brought into the individual townhouse from the alley. Water will be brought into the individual townhouse from Anderson Road. Storm water will be disposed of in individual drainage wells on each of the 9 townhouse properties. There have been initial meetings with Miami Dade Water and Sewer.



The City of Coral Gables

Historical Resources Department

April 22, 2015

Longo Guavonia, LLC
744 Biltmore Way, #2
Coral Gables, FL 33134

Re: 2509 Anderson Road, legally described as Lot 2 and Lot 43 and N 4 1/2 FT of Lot 42,
Block 10 of Coral Gables Biltmore Section, PB 20-28

Dear Sirs:

Section 3-1107(g) of the Coral Gables Zoning Code states that "All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for six (6) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within sixty (60) days from the Historic Preservation Officer determination of "eligibility." Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments."

Therefore, please be advised that after careful research and study of our records and the information you presented the following information has been determined:

2509 Anderson Road, legally described as Lot 2 and Lot 43 and N 4 1/2 FT of Lot 42, Block 10 of Coral Gables Biltmore Section, PB 20-28, does not meet the minimum eligibility criteria for designation as a local historic landmark. Therefore, the Historical Resources staff will not require review by the Historic Preservation Board if an application is made for a demolition permit.

This letter is a reissue of the previous letter dated March 31, 2004. Please note that, pursuant to Section 2-705(b)(15) of the Coral Gables Zoning Code, this determination does not constitute a development order and is valid for a period of six (6) months. In the case where the Historic Preservation Officer or designee determines that the property does not meet the minimum eligibility criteria for designation, a permit for the demolition of the property must be issued within the six-month period. Upon expiration of the six-month period, you will be required to file a new application.

Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made. If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in blue ink that reads "Dona M. Spain for D. Spain".

Dona M. Spain
Historic Preservation Officer

cc: Maria Longo, 744 Biltmore Way, #2, Coral Gables, FL 33134
MG Developer Miami, LLC, 8200 NW 27th Street, Ste. 114, Doral, FL 33122
Craig Leen, City Attorney
Miriam S. Ramos, Deputy City Attorney
Jane Tompkins, Development Services Director
Charles Wu, Assistant Development Services Director
Ramon Trias, Planning & Zoning Director
William Miner, Building Director
Virginia Goizueta, Plans Processor Lead
Historical Significance Request Property File



The City of Coral Gables

Historical Resources Department

April 22, 2015

Longo Guavonia, LLC
c/o Maria Longo
744 Biltmore Way #2
Coral Gables, FL 33134

Re: 745 Valencia Avenue, legally described as Lot 32 Less N 4 ½ FT, Block 10, Coral Gables Biltmore Section, according to the Plat thereof as recorded in Plat Book 20, at Page 28, of the Public Records of Miami-Dade County, Florida

Dear Ms. Longo:

Please see attached Resolution No. R-2004-25 passed and adopted on February 10, 2004 concerning this property. Therefore, the following determination is made:

If an application is made for the demolition of the building at 745 Valencia Avenue, legally described as Lot 32 Less N 4 ½ FT, Block 10, Coral Gables Biltmore Section, according to the Plat thereof as recorded in Plat Book 20, at Page 28, of the Public Records of Miami-Dade County, Florida, the Historical Resources staff will not require review by the Historic Preservation Board.

Any change from the foregoing may be made upon a demonstration of a change in the material facts or circumstances upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

Rare Facts for Spain

Dona M. Spain
Historic Preservation Officer

Enc.

cc: Craig Leen, City Attorney
Miriam S. Ramos, Deputy City Attorney
Jane Tompkins, Development Services Director
Charles Wu, Assistant Development Services Director
Ramon Trias, Planning & Zoning Director
William Miner, Building Director
Virginia Goizueta, Plans Processor Lead
Historical Significance Request Property File

CITY OF CORAL GABLES, FLORIDA

RESOLUTION NO. R-2004-15

A RESOLUTION OF THE CORAL GABLES CITY COMMISSION REDUCING THE FILING FEE PAID BY THE APPLICANT, NAMELY MR. ROGER SOMAN, IN CONNECTION WITH HIS ELEVEN APPEALS FILED WITH THE CITY CLERK IN DECEMBER FROM DECISIONS WHICH WERE RENDERED BY THE HISTORIC PRESERVATION BOARD DENYING THE LOCAL HISTORIC DESIGNATION OF EACH OF THE PROPERTIES ON THE 700 BLOCK OF VALENCIA (701 VALENCIA AVENUE; 711 VALENCIA AVENUE; 717 VALENCIA AVENUE; 718 VALENCIA AVENUE; 726 VALENCIA AVENUE; 729 VALENCIA AVENUE; 737 VALENCIA AVENUE; 740 VALENCIA AVENUE; 741 VALENCIA AVENUE; 745 VALENCIA AVENUE AND 760 VALENCIA AVENUE), CONSISTENT WITH THE INTERPRETATION OF SECTION 31-4.11 OF THE ZONING CODE, THUS REDUCING THE AMOUNT OF SAID FILING FEE RETAINED BY THE CITY OF CORAL GABLES, OFFICE OF THE CITY CLERK FROM \$2,400 TO \$200.

BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

1. That Mr. Roger Soman be granted a reduction in filing fee from \$2,400.00 to \$200.00.
2. That this resolution shall become effective upon the date of its adoption herein.

PASSED AND ADOPTED THIS TENTH DAY OF FEBRUARY, A.D., 2004.

(Moved: Cabrera/Seconded: Withers)
(Yeas: Anderson, Cabrera, Withers)
(Abstained: Kerdyk)
(Agenda Item E-1)

DONALD D. SLESNICK II
MAYOR

ATTEST:

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY:

WALTER J. FOEMAN
CITY CLERK

ELIZABETH M. HERNANDEZ
CITY ATTORNEY

CITY OF CORAL GABLES, FLORIDA

RESOLUTION NO. R-2004-25

A RESOLUTION OF THE CORAL GABLES CITY COMMISSION, AFFIRMING THE DECISION OF THE HISTORIC PRESERVATION BOARD THEREBY DENYING THE APPEAL BY ROGER D. SOMAN, OF CASE FILE LHD 2003-30, ISSUED ON DECEMBER 18, 2003, AND UPHOLDING THE DECISION OF THE HISTORIC PRESERVATION BOARD NOT TO DESIGNATE AS A LOCAL HISTORIC LANDMARK THE PROPERTY LOCATED AT 745 VALENCIA AVENUE, LEGALLY DESCRIBED AS LOTS 42 LESS N 4 ½ FEET, BLOCK 10, CORAL GABLES BILTMORE SECTION

BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

WHEREAS, on November 20, 2003, the Historic Preservation Board directed staff to bring to the board at the next regular meeting a designation report on 745 Valencia Avenue; and

WHEREAS, a public hearing of Board was duly advertised and held, as required by law, and all interested parties concerned in the matter were given an opportunity to be heard, and upon due and proper consideration having been given to the matter it was the opinion of the board not to designate as a local historic landmark the subject property; and

WHEREAS, the decision of the Board was appealed to the City Commission, and a public hearing of the Coral Gables City Commission, Florida was duly advertised and held, upon notice, as required by the Zoning Code; and

WHEREAS, after reviewing the record and decision of Historic Preservation Board and after having given an opportunity for interested parties to be heard, it is the opinion of this City Commission that the grounds and reasons specified in the appeal were insufficient to merit a reversal of the ruling made by the Historic Preservation Board, and that the appeal should be denied and the decision of the Board should be sustained; and

WHEREAS, a motion to deny the appeal and uphold the decision of the Board was offered by Commissioner Anderson, Seconded by Commissioner Cabrera, and upon a vote of the city commission approving the motion;

NOW THEREFORE BE IT RESOLVED by the City Commission, Coral Gables, Florida, that the appeal be and the same is hereby denied and the decision of the Board of Adjustment is upheld;

PASSED AND ADOPTED THIS TENTH DAY OF FEBRUARY, A.D., 2004.

(Moved: Anderson/Seconded: Cabrera)
(Yeas: Cabrera, Withers, Anderson, Slesnick)
(Abstained: Kerdyk)
(Agenda Item E-10)