

**2517 and 2521 SW. 57th Avenue, Coral Gables, Florida
Planning and Zoning Board**



FELIX PARDO AND ASSOCIATES, Inc.
ARCHITECTURE / PLANNING / INTERIORS
255 UNIVERSITY DRIVE, CORAL GABLES, FLORIDA, 33134
Phone: (305) 445-4555 Fax: (305) 445-7006 AA0002478
FELIX PARDO LIC.# 8236

2517 and 2521 S.W. 57th Avenue, Coral Gables, Florida
Planning and Zoning Board

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Felix Pardo & Associates, Inc.
Architecture Planning Interiors
255 University Drive,
Coral Gables, Florida 33134
AA0002478

3 August 2015

City of Coral Gables
Planning and Zoning Department
427 Biltmore Way, 2nd Floor
Coral Gables, FL 33134

Attn: Mr. Ramon Trias, Director

Re: Statement of Use for Request for Separation of a Building Site and Conditional Use Approval for 2521 and 2517 Red Road, Coral Gables, Florida

Dear Mr. Trias,

FVP Red Road, LLC, (the "Applicant"), is the owner of the property located at 2521 and 2517 Red Road, Coral Gables, Florida, which has the folio numbers 03-4118-002-1451 and 03-4118-002-1455 respectively. The property consists of six originally platted rectangular lots measuring 25' wide x 110' deep. Lots, 19, 20, 21, 22, 23 and 24, Block 15, Revised Plat of Coral Gables, Section "D", as recorded in Plat Book 25, Page 74 of the Public Records of Miami-Dade County. The Property is vacant and faces Red Road.

The purpose of this letter is to request a Separation of the Building Site and Conditional Use Site Plan Review in accordance with Zoning Code Article 3, "Development Review", Section 3-206, "Building Site Determination", so that the Property can be separated into two separate parcels to create two building sites. . Lots, 19, 20, 21 which will be 75' x 110' deep and 22, 23, 24 which will be 75' x 110' deep each consisting of 8,250 square feet.

The Property located within Revised Plat of Coral Gables, Section "D", has a Comprehensive Plan Future Land Use Map designations of Residential Single-Family Low Density and a zoning designation of Single Family Residential (SFR). The existing single family homes facing Red Road immediately to the north of the property are 5,500 square feet.

PROPERTY HISTORY

The property was bought by the owner of 2508 Country Club Prado which abuts said property to the west on May 5, 1960, See **Exhibit A**. The Country Club Prado property had an existing residence since 1940.

The owner attempted to sell the lots facing Red Road in 1987 and was told by the zoning administrator at the time that both the Country Club Prado property and the Red Road properties had become one parcel because a chain link fence had been erected, See **Exhibit B**. No permit for the fence is on file. Violations of the dumping on the property may have been the reason for the construction of the chain link fence.

The owner then applied for a lot split and the commission approved the request in January 1988 in order to separate the Red Road property from the Prado property in order to sell them, See **Exhibit C**.

The Red Road property was then sold in 1988, See **Exhibit D**

SEPERATION AND ESTABLISHMENT OF BUILDING SITES

Pursuant to Zoning Code Section 3-206, the Applicant is requesting a separation of the Property into two separate building sites which will have a minimum street frontage of at least 75 feet. The separation of the two building sites will require conditional use for a building site determination which must satisfy four out of the six criteria set forth in Section 3-206(F). The Property satisfies

1. That exceptional or unusual circumstance exists, that are site specific such an unusual site configuration and multiple facings, which would warrant the separation or establishment of a building site.

The property faces Red Road which is a busy state road. There is an existing traffic light on Coral Way which creates a backup in front of the property during rush hour. There is also a bike lane on the two lane road.

2. That the building sites created would be equal to or larger than the majority of the existing site frontages of the same zoning designation within a minimum of 1,000 foot radius of the perimeter of the subject property or extending no farther than the immediate vicinity, whichever is less.

The proposed 75 foot frontage lots will be wider than 75% of all lots within the 1000 foot radius. Most are 50 foot wide. Although not part of the City of Coral Gables, a higher percentage of narrower lots exist on the other side of Red Road. See **Exhibit E**.

3. That the building sites separated or established would not result in any existing structures becoming non-conforming as it relates to setbacks, lot area, lot width and depth, ground coverage and other applicable provisions of the Zoning Code, CP and City Code.

The property is vacant. There are no existing structures that would become non-conforming. All proposed structures would conform to the setbacks, lot area, lot width and depth, ground coverage and all other applicable provisions of the Zoning Code, CP and City Code.

4. That no restrictive covenants, encroachments, easements, or the like exist which would prevent the separation of the site.

No covenants or easements exist that would prevent the separation of the site except for the Ordinance No. 2761 dated 1988. See **Exhibit F**.

5. That the proposed building sites maintain and preserve open space, promotes neighborhood compatibility, preserves historic character, maintains property values and enhances visual attractiveness of the area.

The two proposed building sites are designed to comply with the requirements of the Zoning Code and will maintain and preserve a generous amount of open space.

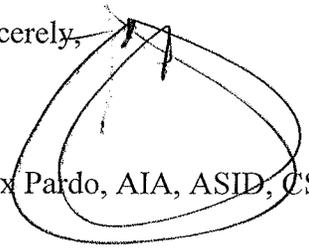
6. That the building site(s) created was purchased as a separate building by the current owner prior to September 17, 1977.

The current owner purchased the property in 2015.

This building site separation application into two lots is made with the intent of developing two beautifully designed, high quality residential homes that are compatible with the surrounding areas. We respectfully request your favorable recommendation because we believe that this request achieves the City goals of maintaining and creating green and open space and compatible neighborhoods, while increasing the variety of housing options available to City residents.

Please do not hesitate to contact me if you have any questions.

Sincerely,


Felix Pardo, AIA, ASID, CSI



City of Coral Gables Planning Division Application

305.460.5211

planning@coralgables.com

www.coralgables.com

Application request

The undersigned applicant(s)/agent(s)/property owner(s) request City of Coral Gables consideration and review of the following application(s) (please check all that apply):

- Abandonment and Vacations
- Annexation
- Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Comprehensive Plan Text Amendment
- Conditional Use - Administrative Review
- Conditional Use without Site Plan
- Conditional Use with Site Plan
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Mixed Use Site Plan
- Planned Area Development Designation and Site Plan
- Planned Area Development Major Amendment
- Restrictive Covenants and/or Easements
- Site Plan
- Separation/Establishment of a Building Site
- Subdivision Review for a Tentative Plat and Variance
- Transfer of Development Rights Receiving Site Plan
- University Campus District Modification to the Adopted Campus Master Plan
- Zoning Code Map Amendment
- Zoning Code Text Amendment
- Other: _____

General information

Street address of the subject property: 2521 SW. 57th Avenue, Coral Gables, Florida.

Property/project name: Proposed Residence for FVP 57 ave., LLC.

Legal description: Lot(s) 19,20,21 and 22,23,24

Block(s) 15 Section (s) Revised Plat of Coral Gables, Section "D"

Property owner(s): FVP Red Road, LLC.

Property owner(s) mailing address: 250 Catalonia Ave. Suite 304 - Coral Gables, Florida. 33134

Telephone: Business (305) 445-9660 Fax (305) 445-9680

Other _____ Email Vanessa @ VMBlaw.net



City of Coral Gables Planning Division Application

Applicant(s)/agent(s): Felix Pardo & Associates, Inc.

Applicant(s)/agent(s) mailing address: 255 University Drive - Coral Gables, Florida. 33134

Telephone: Business (305) 445-4555 Fax (305) 445-7006

Other _____ Email fpardo @ fpadesign.com

Property information

Current land use classification(s): Residential Single Family - Low Density (6 units/acre)

Current zoning classification(s): (SFR) Single Family Residence District

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

Supporting information (to be completed by Planning Staff)

A Preapplication Conference is required with the Planning Division in advance of application submittal to determine the information necessary to be filed with the application(s). Please refer to the Planning Division Development Review Process Handbook, Section 3.0, for an explanation of each item. If necessary, attach additional sheets to application. The Planning Division reserves the right to request additional information as necessary throughout the entire review process.

- Aerial.
- Affidavit providing for property owner's authorization to process application.
- Annexation supporting materials.
- Application fees.
- Application representation and contact information.
- Appraisal.
- Architectural/building elevations.
- Building floor plans.
- Comprehensive Plan text amendment justification.
- Comprehensive Plan analysis.
- Concurrency impact statement.
- Encroachments plan.
- Environmental assessment.
- Historic contextual study and/or historical significance determination.
- Landscape plan.
- Lighting plan.
- Massing model and/or 3D computer model.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Parking study.
- Photographs of property, adjacent uses and/or streetscape.
- Plat.
- Property survey and legal description.



City of Coral Gables Planning Division Application

- Property owners list, notification radius map and two sets of labels.
- Public Realm Improvements Plan for mixed use projects.
- Public school preliminary concurrency analysis (residential land use/zoning applications only).
- Sign master plan.
- Site plan and supporting information.
- Statement of use and/or cover letter.
- Streetscape master plan.
- Traffic accumulation assessment.
- Traffic impact statement.
- Traffic impact study.
- Traffic stacking analysis.
- Utilities consent.
- Utilities location plan.
- Vegetation survey.
- Video of the subject property.
- Zoning Analysis (Preliminary).
- Zoning Code text amendment justification.
- Warranty Deed.
- Other: _____

Application submittal requirements

1. Hard copies. The number of application binders to be submitted shall be determined by Staff at the preapplication meeting. The application shall include all the items identified in the preapplication meeting.
2. Digital media copies. Two (2) compact discs (CD ROMs) of the entire application including all the items identified in the Preapplication Conference. Each document shall be separated into PDF files (i.e., application; site plan, landscape plan; etc.). Please include a "Table of Contents" identifying all PDF file name(s). Each PDF file size shall not exceed 10 Mb. All discs shall be labeled with the applicant(s) name, project name and date of submittal.

Applicant/agent/property owner affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.



City of Coral Gables Planning Division Application

5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. Additional costs in addition to the application fees may be assessed associated with the review of applications by the City. These are costs that may be incurred by the applicant due to consultant fees paid by City to review the application. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; traffic impact analyses; vegetation/environmental assessments; archeological/historic assessments; market studies; engineering studies or reports; and legal fees. Such fees will be assessed upon finalization of the City application review.

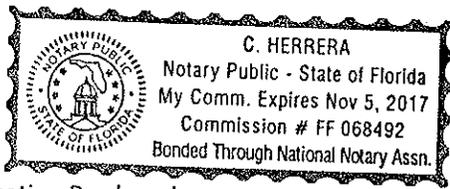
Property owner(s) signature(s): 	Property owner(s) print name: RUBEN BERTRAN
Property owner(s) signature(s):	Property owner(s) print name:
Property owner(s) signature(s):	Property owner(s) print name:

Address: 250 CATALONIA AVE. SUITE 304 - CORAL GABLES, FL 33134

Telephone: (305) 445-9660 Fax: (305) 445-9680 Email: VANESSA@VHBLAW.NET

NOTARIZATION

STATE OF FLORIDA/COUNTY OF
 The foregoing instrument was acknowledged before me this 23 day of February by 2016 by Ruben Bertran
 (Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)
 Personally Known OR Produced Identification; Type of Identification Produced _____



City of Coral Gables Planning Division Application

Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:
Contract Purchaser(s) Signature:	Contract Purchaser(s) Print Name:

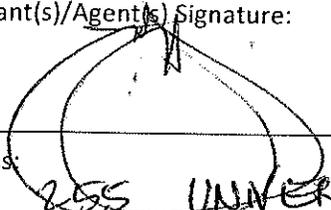
Address:

Telephone:	Fax:	Email:
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NOTARIZATION

STATE OF FLORIDA/COUNTY OF
 The foregoing instrument was acknowledged before me this _____ day of _____ by _____
 (Signature of Notary Public - State of Florida)

(Print, Type or Stamp Commissioned Name of Notary Public)
 Personally Known OR Produced Identification; Type of Identification Produced _____

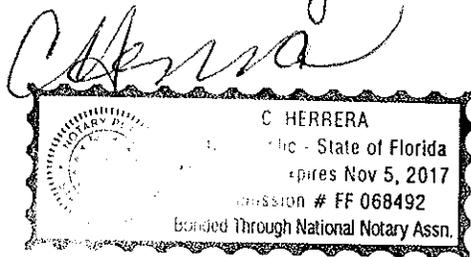
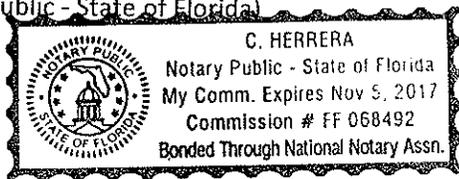
Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: FELIX PARDO
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Address: **255 UNIVERSITY DRIVE CORAL GABLES, FL 33134**

Telephone: (305) 445-4553	Fax: (305) 445-7006	Email: FPARDO@FPADSKN.COM
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NOTARIZATION

STATE OF FLORIDA/COUNTY OF
 The foregoing instrument was acknowledged before me this 23 day of February 2016 by Felix Pardo
 (Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)
 Personally Known OR Produced Identification; Type of Identification Produced _____



Arial photograph



Arial photograph



Rear Property Line



S.E. Corner



N.E. Corner



S.W. Corner



N.W. Corner



S.E. Corner



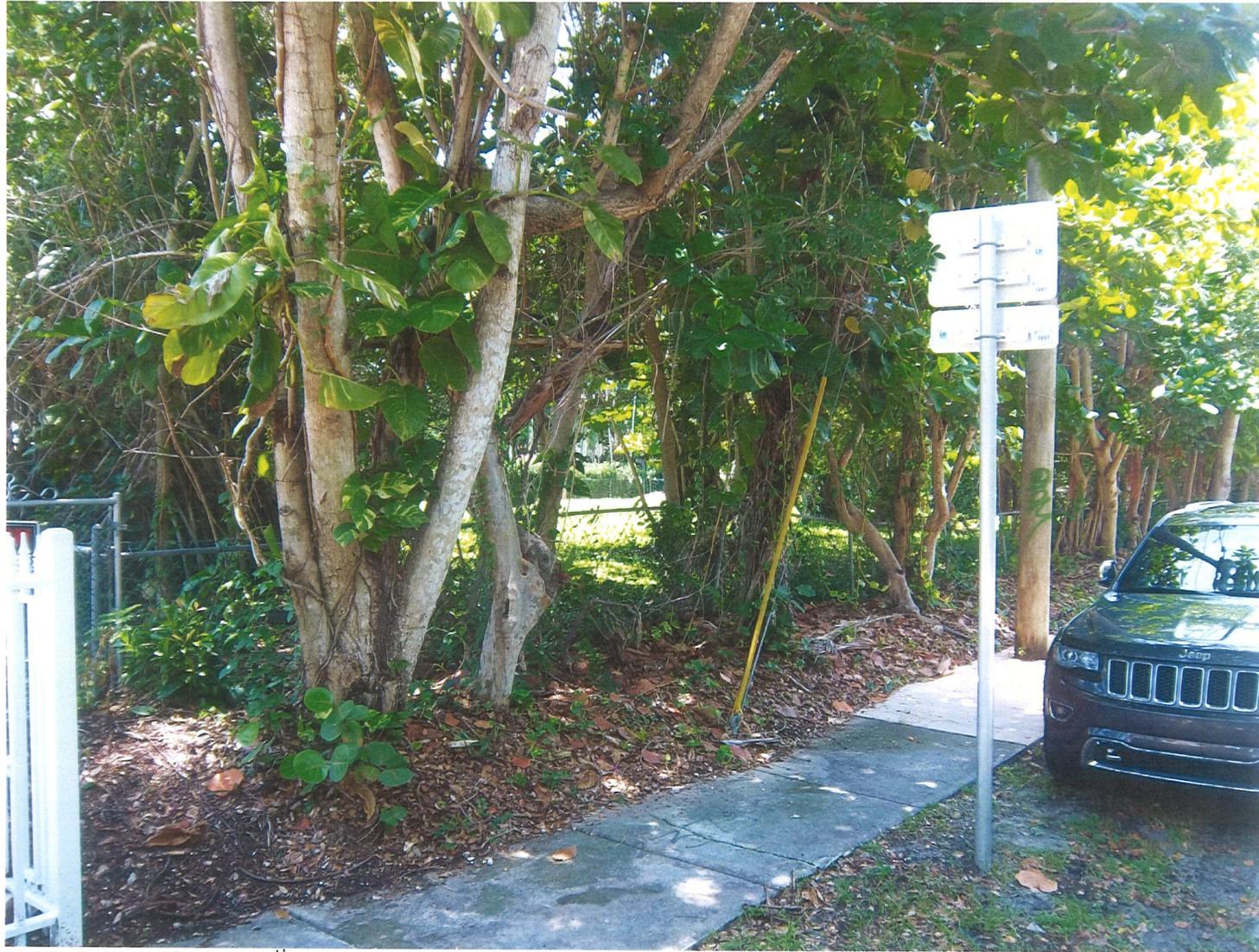
57th Avenue View



Residences across Red Road (City of Miami)



Residences across Red Road (City of Miami)



N.E. Corner from 57th Ave.



57th Avenue View



Residences across Red Road (City of Miami)



Adjacent Neighbor (North)



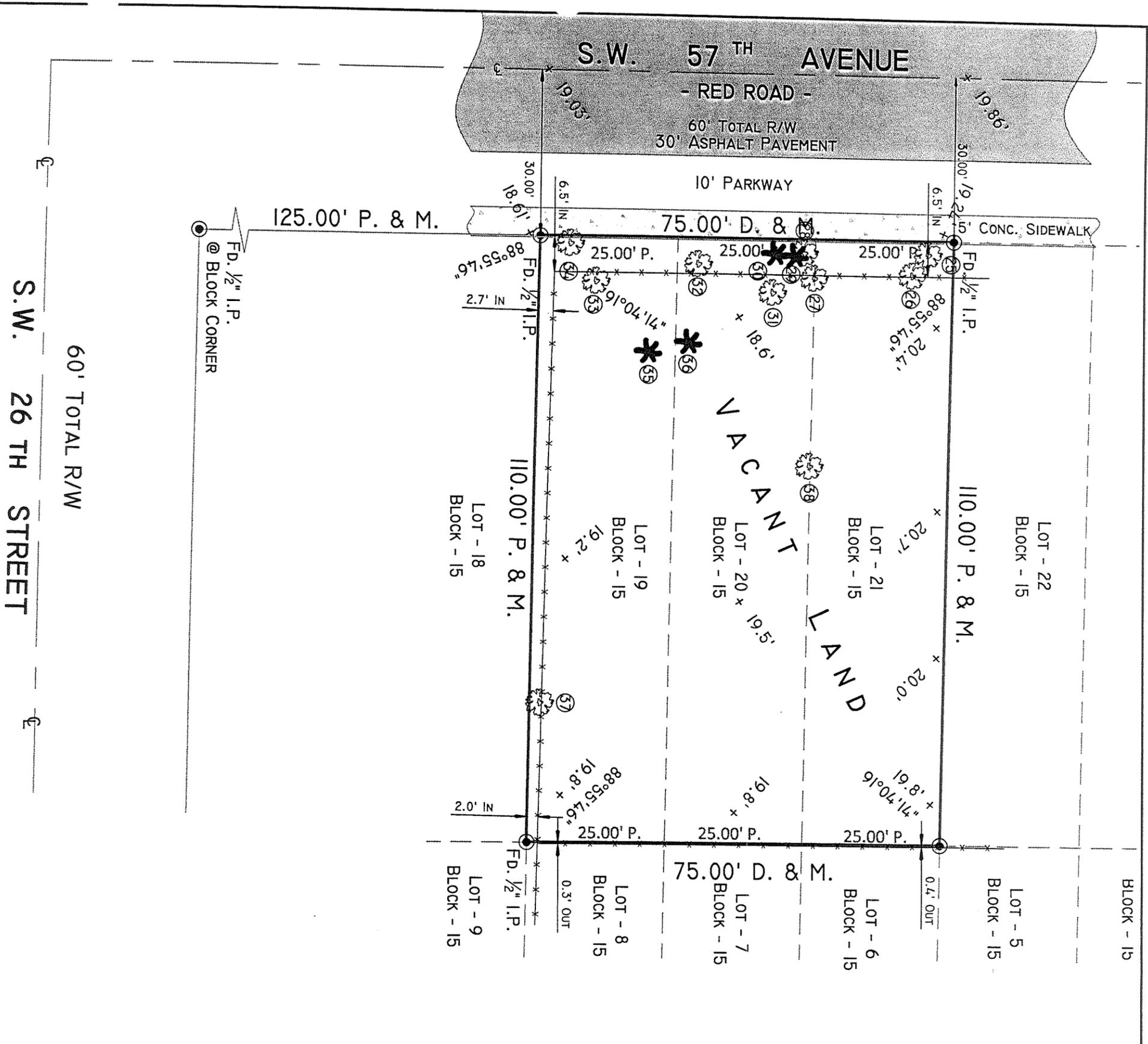
Adjacent Neighbor (North)



North Property Line



Rear Property Line (East)



No.	TREE TYPE	Ø	HEIGHT	CANOPY
25	Almond Tree	18"	50'	30'
26	Almond Tree	28"	50'	35'
27	Almond Tree	7"	18'	12'
28	Almond Tree	22"	15'	10'
29	PALM	5"	15'	8'
30	PALM	10"	30'	12'
31	FICUS	60"	60'	50'
32	Almond Tree	18"	30'	25'
33	Almond Tree	24"	45'	30'
34	Almond Tree	8"	25'	15'
35	PALM	11"	40'	18'
36	3 PALMS	33"	25'	15'
37	Almond Tree	12"	35'	20'
38	Persia Americana (Avocado)	31"	30'	25'

MAP OF BOUNDARY SURVEY

FOR: 2521 S.W. 57TH AVENUE, CORAL GABLES, FLORIDA 33155

LEGAL DESCRIPTION:
 Lots 19, 20, 21, Block 15, REVISED PLAT OF CORAL GABLES SECTION "D", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 74 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFIED TO:
 FVP RED ROAD, LLC.;
 FIRST AMERICAN TITLE INSURANCE COMPANY.

GENERAL NOTES

- LEGAL DESCRIPTION PROVIDED BY OTHERS, UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT DETERMINE OR IMPLY REAL PROPERTY OWNERSHIP.
- THE LANDS SHOWN HEREIN ARE SUBJECT TO RESTRICTIONS OF PLAT (S) OF RECORD, THERE MAY BE ADDITIONAL RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORDS OF THIS COUNTY, AFFECTING THESE LANDS.
- MEASURED VALUES OF BOUNDARY DISTANCES, DIRECTIONS AND INTERIOR ANGLES, HAVE BEEN FOUND CONSISTENT WITH VALUES OF RECORD, UNLESS OTHERWISE SHOWN.
- ELEVATIONS, IF SHOWN, ARE REFERRED TO N.G.V.D. 1929.
- UNDERGROUND IMPROVEMENTS, FOOTINGS AND UTILITIES ARE NOT LOCATED ON THIS SURVEY MAP.
- FENCE OWNERSHIP NOT DETERMINED, APPARENT CLEARANCES AND/OR ENCROACHMENTS ARE NOTED BY VISUAL MEANS ONLY.
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- ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.

HEREBY CERTIFY THAT THIS SKETCH OF SURVEY OF THE HEREON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY DIRECTION AND SAID SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

ODALYS C. BELLO-IZNAGA
 PROFESSIONAL SURVEYOR
 & MAPPER No. 6169
 STATE OF FLORIDA
 FIELD WORK DATE: 07/03/2015
 COMPLETION DATE: 07/07/2015

LEGEND & ABBREVIATIONS

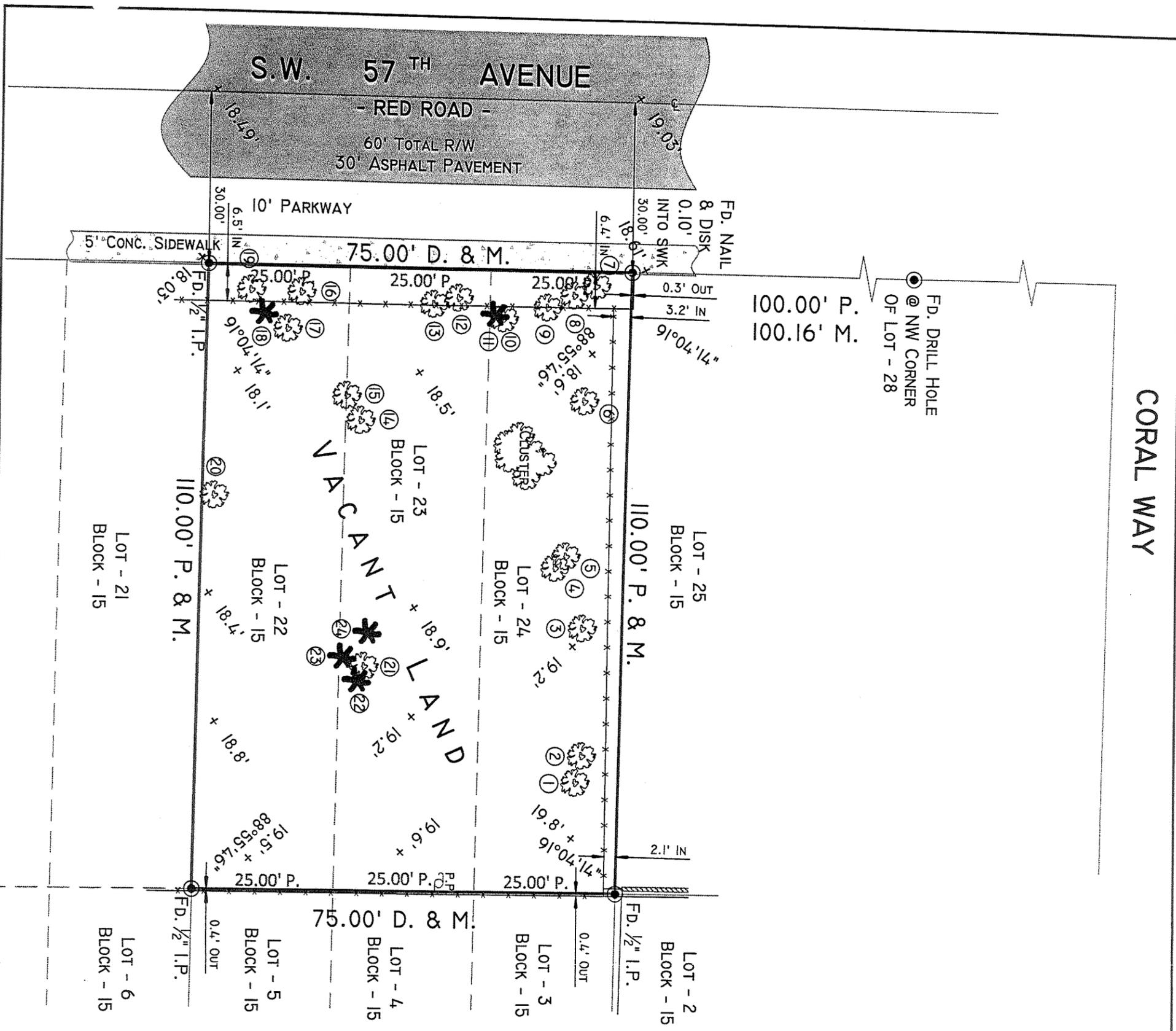
- | | | |
|---|--|--|
| <ul style="list-style-type: none"> — = CONCRETE — = CONC. BLOCK WALL — = WOOD DECK — = COVERED AREA — = ASPHALT — = CHAIN LINK FENCE (CLF) — = WOOD FENCE (WF) — = IRON FENCE (IF) A = ARC DISTANCE L = LENGTH A = CENTRAL ANGLE / DELTA R = RADIUS T = TANGENT P.T. = POINT OF TANGENCY P.C. = POINT OF CURVATURE P.C.C. = POINT OF COMPOUND CURVE P.R.C. = POINT OF REVERSE CURVE CH = CHORD CH. BRG. = CHORD BEARING B.M. = BENCH MARK B.R. = BEARING REFERENCE T.B.M. = TEMPORARY BENCH MARK P.P. = POWER POLE D.M.E. = DRAINAGE & MAINTENANCE EASEMENT | <ul style="list-style-type: none"> B.C. = BLOCK CORNER E = PROPERTY LINE CL = CENTER LINE — = COVERED AREA — = MONUMENT LINE CALC. = CALCULATED M. = FIELD MEASURED P. = PER PLAT TYP. = TYPICAL P.R.M. = PERMANENT REFERENCE MONUMENT P.C.P. = PERMANENT CONTROL POINT FD. NAIL = FOUND NAIL FD. D/2" I.P. = FOUND DRILL HOLE FD. 1/2" I.P. = FOUND IRON PIPE 1/2" DIAMETER C.M. = CONCRETE MONUMENT FD. IR. = FOUND IRON REBAR FD. P.K. NAIL = FOUND PARKER-KALON NAIL P.S.M. = PROFESSIONAL SURVEYOR AND MAPPER A/C = AIR CONDITIONER PAD T.X. = TRANSFORMER 0.0' = EXISTING ELEVATION | <ul style="list-style-type: none"> A.E. = ANCHOR EASEMENT D.E. = DRAINAGE EASEMENT ENCR. = ENCROACHMENT F.F. ELEV. = FINISHED FLOOR ELEVATION N.T.S. = NOT TO SCALE P.B. = PLAT BOOK O.R.B. = OFFICIAL RECORD BOOK M.H. = MAN HOLE C.B.S. = CONCRETE BLOCK STRUCTURE O.H.L. = OVERHEAD UTILITY LINES TEL. = TELEPHONE FACILITIES C.B. = CATCH BASIN CATV = CABLE UTILITY BOX W.M. = WATER METER R/W = RIGHT OF WAY ELEV. = ELEVATION SEC. = SECTION TWS. = TOWNSHIP RG. = RANGE SWK = SIDEWALK |
|---|--|--|

FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:
 COMMUNITY NUMBER: 120639 PANEL NUMBER: 0456
 SUFFIX: L PANEL REVISED DATE: 09/11/2009
 FLOOD ZONE: X

BENCH MARKS USED: MIAMI-DADE COUNTY BENCH MARK
 No. P-401 ELEV. = 16.34' AND CITY OF CORAL GABLES
 BENCH MARK No. 32 ELEV.: 12.01'

BELLO & BELLO
 LAND SURVEYING CORPORATION LB No. 7262
 12230 S.W. 131 AVENUE SUITE 201
 MIAMI, FL 33186
 PH: (305) 251-9606 FAX: (305) 251-6057
 KBELLO@BELLOLANDSURVEYING.COM
 PROJECT No. 15269 - A

SCALE: 1" = 20'
 0
 10
 20



TREE CHART			
No.	TREE TYPE	Ø	HEIGHT/CANOPY
1	Royal Palmetto	36"	50' / 45'
2	UNKNOWN	24"	30' / 18'
3	Almond Tree	26"	35' / 25'
4	OAK	18"	55' / 40'
5	OAK	29"	40' / 35'
6	OAK	22"	45' / 30'
7	Almond Tree	36"	60' / 40'
8	UNKNOWN	10"	35' / 20'
9	Almond Tree	6"	40' / 20'
10	Royal Palmetto	6"	40' / 11'
11	PALM	6"	40' / 11'
12	Almond Tree	7"	25' / 15'
13	Almond Tree	14"	45' / 38'
14	OAK	18"	35' / 40'
15	UNKNOWN	30"	30' / 35'
16	Almond Tree	11"	25' / 20'
17	FIGUS	60"	55' / 50'
18	PALM	11"	45' / 20'
19	Almond Tree	12"	30' / 18'
20	Persia Americana (Avocado)	36"	25' / 30'
21	Gumbo Limbo	31"	50' / 50'
22	UNKNOWN	12"	40' / 15'
23	UNKNOWN	11"	35' / 20'
24	UNKNOWN	16"	30' / 15'

MAP OF BOUNDARY SURVEY

FOR: 2521 S.W. 57TH AVENUE, CORAL GABLES, FLORIDA 33155

LEGAL DESCRIPTION:
LOTS 22, 23, 24, BLOCK 15, REVISED PLAT OF CORAL GABLES SECTION "D", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 25, PAGE 74 OF THE PUBLIC RECORDS OF MIAMI-DADE COUNTY, FLORIDA.

CERTIFIED TO:
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I HEREBY CERTIFY THAT THIS SKETCH OF SURVEY OF THE HERON DESCRIBED PROPERTY IS A TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE UNDER MY DIRECTION AND SAID SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17 FLORIDA ADMINISTRATIVE CODE PURSUANT TO SECTION 472.027 FLORIDA STATUTES AND IS ACCURATE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
ODALYS C. BELLO-IZNAGA
PROFESSIONAL SURVEYOR & MAPPER No. 6169
STATE OF FLORIDA
FIELD WORK DATE: 07/03/2015
COMPLETION DATE: 07/07/2015

LEGEND & ABBREVIATIONS

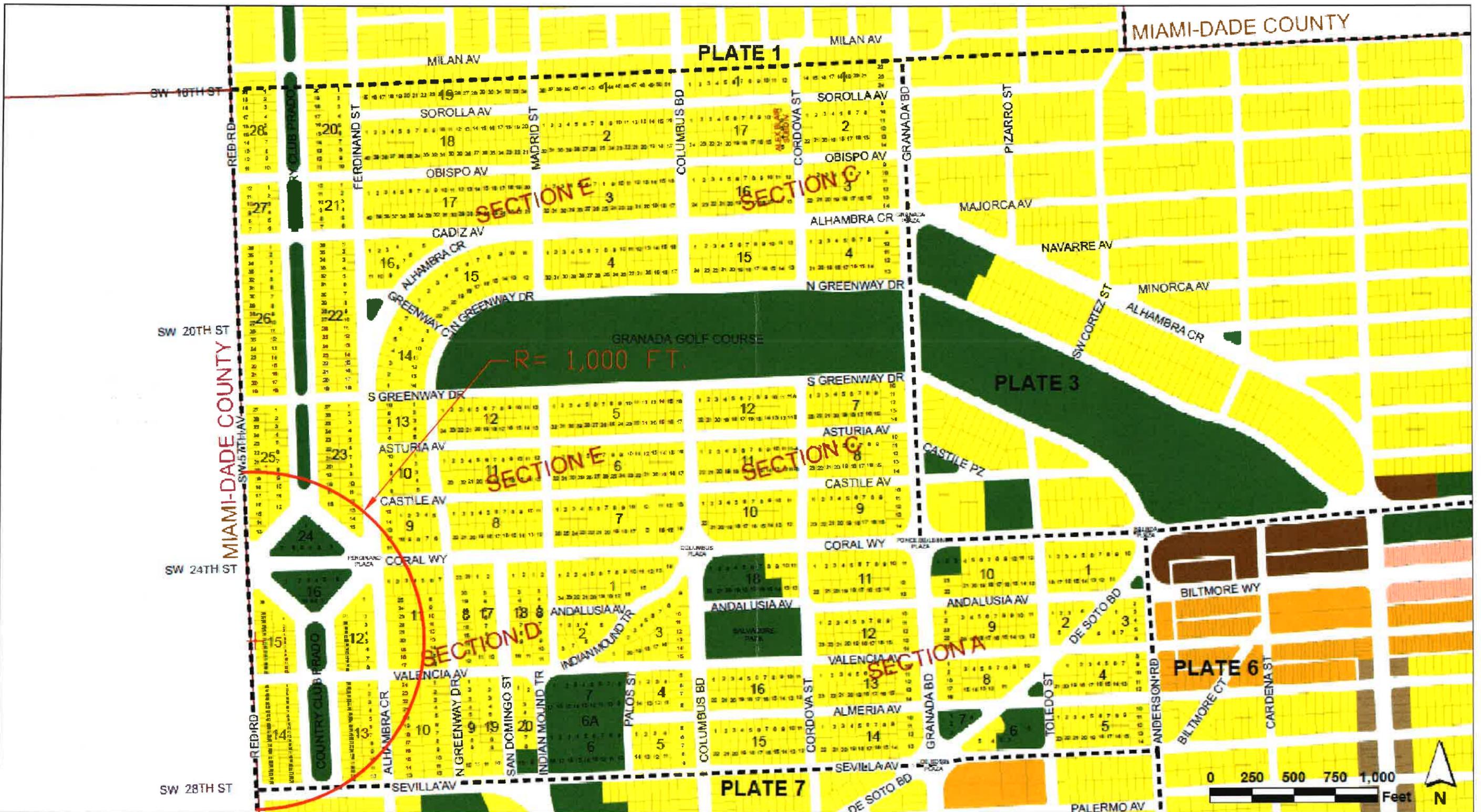
<ul style="list-style-type: none"> CONCRETE CONC. BLOCK WALL WOOD DECK COVERED AREA ASPHALT CHAIN LINK FENCE (CLF) IRON FENCE (IF) WOOD FENCE (WF) ARC DISTANCE LENGTH CENTRAL ANGLE / DELTA RADIUS TANGENT TANGENT OF TANGENCY POINT OF CURVATURE POINT OF COMPOUND CURVE POINT OF REVERSE CURVE CHORD CHORD BEARING BENCH MARK BEARING REFERENCE TEMPORARY BENCH MARK POWER POLE DRAINAGE & MAINTENANCE EASEMENT 	<ul style="list-style-type: none"> BLOCK CORNER PROPERTY LINE CENTER LINE MONUMENT LINE CALCULATED FIELD MEASURED PER PLAT TYPICAL PERMANENT REFERENCE MONUMENT PERMANENT CONTROL POINT FOUND NAIL FOUND DRILL HOLE FOUND IRON PIPE 1/2" DIAMETER CONCRETE MONUMENT FOUND IRON REBAR FOUND PARKER-KALON NAIL PROFESSIONAL SURVEYOR AND MAPPER AIR CONDITIONER PAD TRANSFORMER EXISTING ELEVATION 	<ul style="list-style-type: none"> ANCHOR EASEMENT DRAINAGE EASEMENT ENCROACHMENT FINISHED FLOOR ELEVATION NOT TO SCALE PLAT BOOK OFFICIAL RECORD BOOK MAN HOLE CONCRETE BLOCK STRUCTURE OVERHEAD UTILITY LINES TELEPHONE FACILITIES CATCH BASIN CABLE UTILITY BOX WATER METER RIGHT OF WAY ELEVATION SECTION TOWNSHIP RANGE SIDEWALK
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FLOOD INSURANCE RATE MAP (FIRM) INFORMATION:
COMMUNITY NUMBER: 120639 PANEL NUMBER: 0456
SUFFIX: L PANEL REVISED DATE: 09/11/2009
FLOOD ZONE: X

BENCH MARKS USED: MIAMI-DADE COUNTY BENCH MARK No. P-401 ELEV. = 16.34' AND CITY OF CORAL GABLES BENCH MARK No. 32 ELEV.: 12.01'

BELLO & BELLO
LAND SURVEYING CORPORATION LB No. 7262
12230 S.W. 151 AVENUE SUITE 201
MIAMI, FL 33186
PH: (305) 251-9606 FAX: (305) 251-6057
KBELLO@BELL0LANDSURVEYING.COM
PROJECT NO. 15269 - B

SCALE: 1" = 20'



Zoning Map

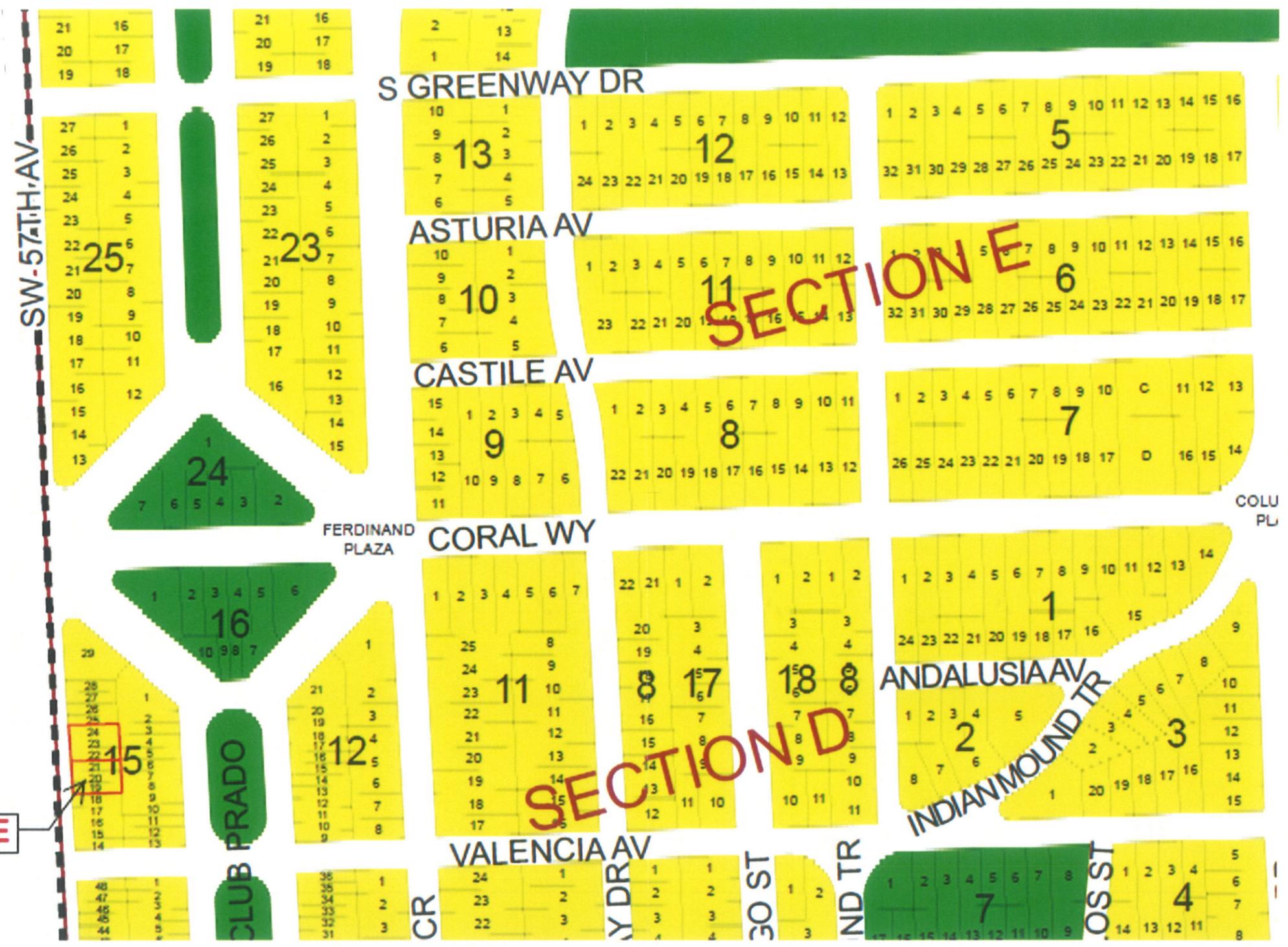
Zoning Districts

 (SFR) Single-Family Residential District	 (MFSA) Multi-Family Special Area District	 (P) Preservation District	 (I) Industrial District
 (MF1) Multi-Family 1 Duplex District	 (UCD) University Campus District	 (CL) Commercial Limited District	
 (MF2) Multi-Family 2 District	 (S) Special Use District	 (C) Commercial District	

**Plate
2 of 18**

City of Coral Gables
Planning Department
February 2011

MIAMI-DADE COUNTY



Use Map

ARTICLE 4 - ZONING DISTRICTS

Article 4 - Zoning Districts 4-5

Division 1. Residential Districts

Section 4-101. Single-Family Residential (SFR) District.

4. Setback requirements. No building or structure, or any part thereof, including porches, projections or terraces, but not including uncovered steps, shall be erected at a lesser distance from the front, side or rear line of any building site than the front, side or rear setback distance, respectively, prescribed and established herein for such building site. Nothing herein shall prohibit a building or structure from having more than the minimum required setbacks.

a. Front setback. A minimum front setback of twenty-five (25) feet shall be maintained and required on all building sites except that on existing building sites on platted lots less than seventy-five (75) feet in depth, a minimum front setback of fifteen (15) feet shall be required.

b. Side setbacks. Inside lots shall have minimum side setbacks, which total twenty (20%) percent of the width of the lot measured across the front setback line with a minimum total of ten (10) feet and up to a maximum of twenty (20) feet. A minimum side setback of fifteen (15) feet shall be required and maintained from any side line of a building site that abuts upon a street, provided, however, that buildings on corner lots which have one (1) side abutting upon a street on which other lots in the same block face, shall setback a minimum distance from such side street as is provided herein as the minimum front setback for buildings facing such side street. The required side setbacks shall be equal on both sides unless an uneven distribution is used to mitigate an existing contextual condition on the property as determined by the Board of Architects. An existing contextual condition may include but shall not be limited to the location of tree(s), existing structures on the property, or existing non-conforming setback conditions. In no case shall a side setback be less than five (5) feet

c. Rear setback. A minimum rear setback of ten (10) feet shall be maintained and required on all buildings.

5. Setback requirements for auxiliary, accessory buildings and/or structures. Except as specifically prescribed herein to the contrary, auxiliary, accessory buildings and/or structures shall be governed by the same minimum setback requirements as provided for the main or principal building, provided that:

a. Except as may be otherwise noted no accessory or auxiliary building or structures may be located in the area between the street and the main residential building or any part thereof.

b. In no case shall an auxiliary building or structure be located closer to the front or side street of a lot or building site than the main or principal building.

Specific to Sites

Lots 19, 20 and 21, block 15
 Front.....25'-0"
 Rear.....10.65'
 Interior side.....7.50'/18.07'

Lots 22, 23 and 24
 Front.....25'-0"
 Rear.....15.48'
 Interior side.....7.50'/18.07'

8. Ground area coverage. Buildings or structures designed and constructed shall not occupy more than thirty-five (35%) percent of the ground area of the building site upon which the building or structure is erected. The area utilized for calculating the maximum ground area coverage for the principal building shall be computed from the exterior face of exterior walls and the exterior face of exterior columns of the ground floor of the building. Cantilevered portions of the building above the ground floor or roof overhangs that are greater than five (5) feet shall be computed in the calculation of the ground area coverage of the principal building. Auxiliary buildings or structures, including swimming pools, may occupy additional ground coverage, but the total ground area occupied by the main building or structure and auxiliary structures shall not exceed forty-five (45%) percent of the building site upon which the structures are located. In no case shall the main building or structure exceed thirty-five (35%) percent of the lot or lots composing the building site. Special Use buildings or structures which may be permitted by ordinance to be located in the SFR District subject to the same minimum ground area coverage as set forth for single-family residences in the SFR District.

Specific to Sites - Ground Area Coverage

Lots 19, 20 and 21, block 15
 35% MAX. ALLOWED (2,886.99 sf)
 MAIN RESIDENCE PROV'D 2,723.34sf
 45% MAX. ALL STRUCTURES(3711.85 sf)
 PROV'D 3,083.31 sf (INCL. POOL)

Lots 22, 23 and 24
 35% MAX. ALLOWED (2,886.99 sf)
 MAIN RESIDENCE PROV'D 2,757.36sf
 45% MAX. ALL STRUCTURES(3711.85 sf)
 PROV'D 3,112.36 sf (INCL. POOL)

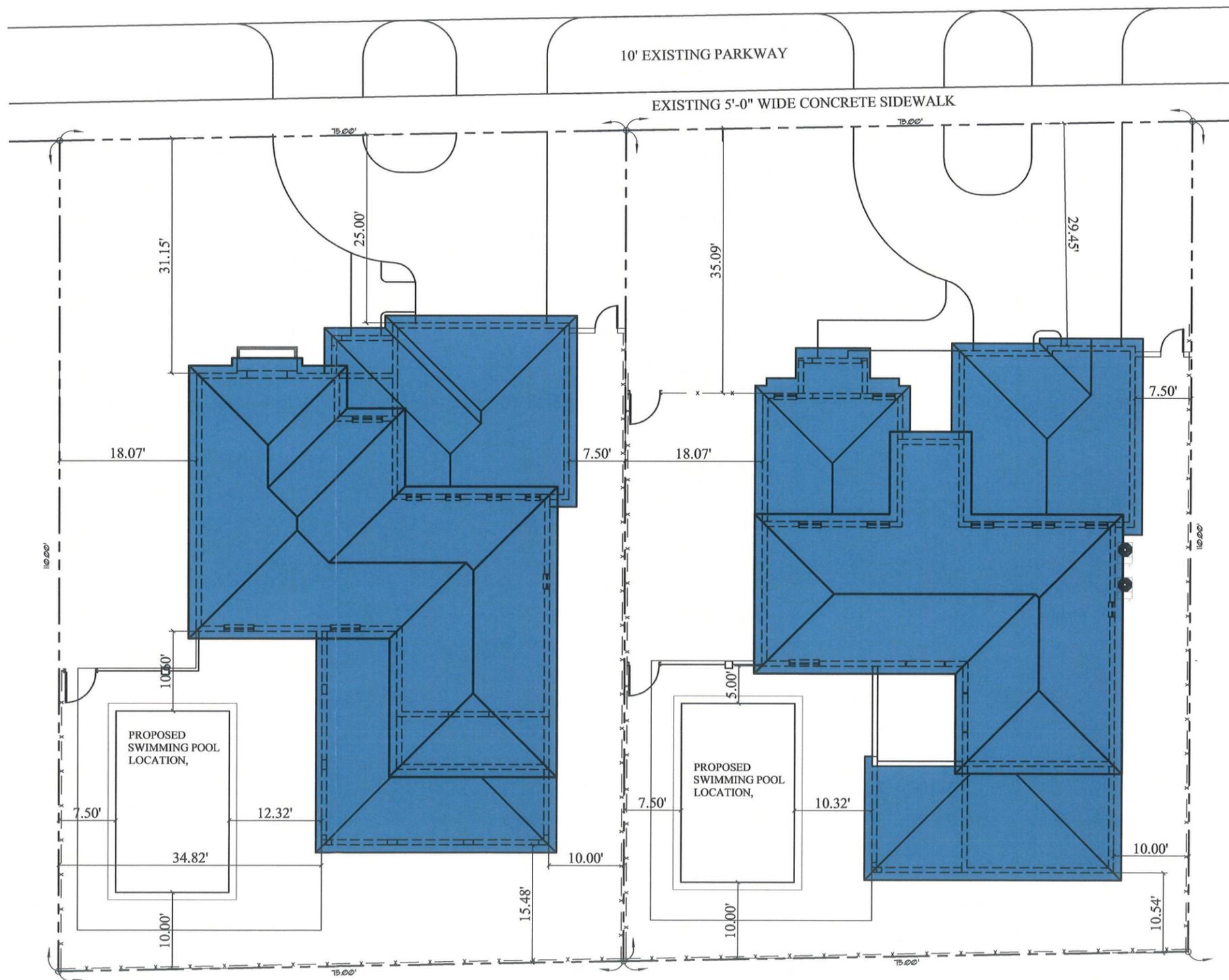
S.W. 57th STREET - RED ROAD

60' TOTAL RIGHT OF WAY

30' EXISTING PAVEMENT

10' EXISTING PARKWAY

EXISTING 5'-0" WIDE CONCRETE SIDEWALK



LOT COVERAGE AND SETBACKS
 SITE PLAN SCALE 1/8" = 1'-0"



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 ARCHITECTURE / PLANNING / INTERIORS
 255 UNIVERSITY DRIVE, CORAL GABLES, FLORIDA
 33134 Phone:(305) 445-4555 Fax:(305) 445-7066 AA 0002478
 FELIX PARDO LIC.# 8236

ARTICLE 4 - ZONING DISTRICTS

Article 4 - Zoning Districts 4-5

Division 1. Residential Districts

Section 4-101. Single-Family Residential (SFR) District.

9. Maximum square foot floor area for single-family residences. The maximum square foot floor area permitted for single-family residences shall be equal to forty-eight (48%) percent for the first five-thousand (5,000) square feet of building site area and thirty-five (35%) percent for the next five-thousand (5,000) square feet of building site area and thirty (30%) percent for the remainder of the building site area.

10. Determination of maximum square foot floor area. The maximum square foot floor area of a single-family residence shall be the sum of the gross areas of all the floors of the building or buildings, measured from the exterior faces of exterior walls and exterior faces of supporting columns for any floor not enclosed by exterior walls. The Board of Architects may require such changes in the plans and specifications for single-family residences as are necessary or appropriate to the maintenance of a high standard of construction, architecture, beauty, and harmony with the aesthetic quality of the surrounding neighborhood in the carrying out of the provisions of this section of the "Zoning Code."

a. In particular, gross floor area shall include the following:

All floor space used for dwelling purpose, such as living rooms, bedrooms, kitchens, utility rooms, mechanical equipment rooms, and any other similar space, no matter where located within a building, including the following:

- i. Elevator shafts and stairwells at each floor.
- ii. The floor space in penthouses, interior balconies and mezzanines.
- iii. The floor space in auxiliary or accessory buildings.
- iv. The floor space in screened porches located on the second floor. The floor space in screened porches located on the first floor shall be computed at one-half (1/2) of the square foot floor area contained therein; provided, a covenant is submitted stating that such screen porch will not be enclosed if it will cause the residence to exceed the maximum permitted floor area.
- v. The floor space in any garage and/or garage storage area shall be computed at three-quarters (3/4) of floor area for one (1) story detached garages located in the rear yard area with a height that does not exceed sixteen (16) feet above established grade and a floor area that does not exceed three-hundred-and-fifty (350) square feet.
- vi. In those cases where the average floor to the bottom of the structural member of roof support height exceeds thirteen (13) feet clear, without intermediate structural floor members, then that area shall be counted twice in the maximum floor area factor computation.
- vii. The floor space in roofed terraces, breezeways, and porches located on the second floor.
- viii. The floor space in interior courtyards and if a portion of the interior court yard is created in whole or in part with a two (2) story portion of the residence then the interior court yard shall count twice.

b. The following areas or structures shall not be computed into the gross floor area of the building except as stated herein:

- i. Floor space in one (1) story roofed terraces, breezeways, and porches that do not have an average floor to ceiling height that exceeds thirteen (13) feet provided, a covenant is submitted stating that such roofed terrace, and breezeway or porch will not be enclosed if it will cause the residence to exceed the maximum permitted floor area.
- ii. Floor space in screen enclosures.
- iii. Carports that consist of a roofed structure that is open on three (3) sides and attached to the main building for the purpose of providing shelter for one (1) or more motor vehicles.
- iv. Basements.

Specific to Sites - Maximum square foot floor area

Site area = 8,248.56 square ft

1st 5,000 sf x 48% = 2,400 sf

2nd 5,000 sf x 35% = 1,136.99

Balance x 30% = N/A

Maximum allowed = 3,536.99 sf

Lots 19, 20 and 21, block 15

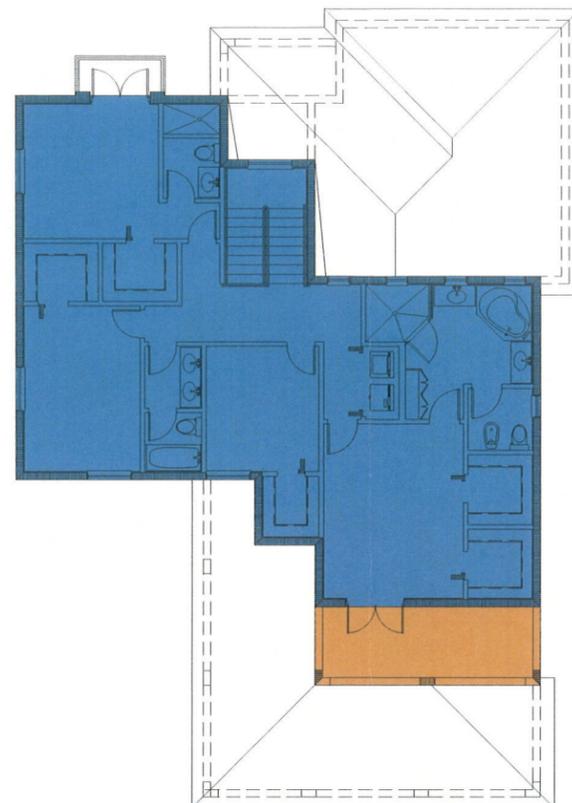
TOTAL Building Area.....4,339.41 sf
 Ground Floor area.....1,635.98 sf (fully computed)
 Second Floor Area.....1,497.44 sf (fully computed)
 Garage.....535.91 sf (computed at 75%)
 Balconies, open terrace and Entry.....670.08 sf (not computed)

FLA Area provided.....3,535.35 sf

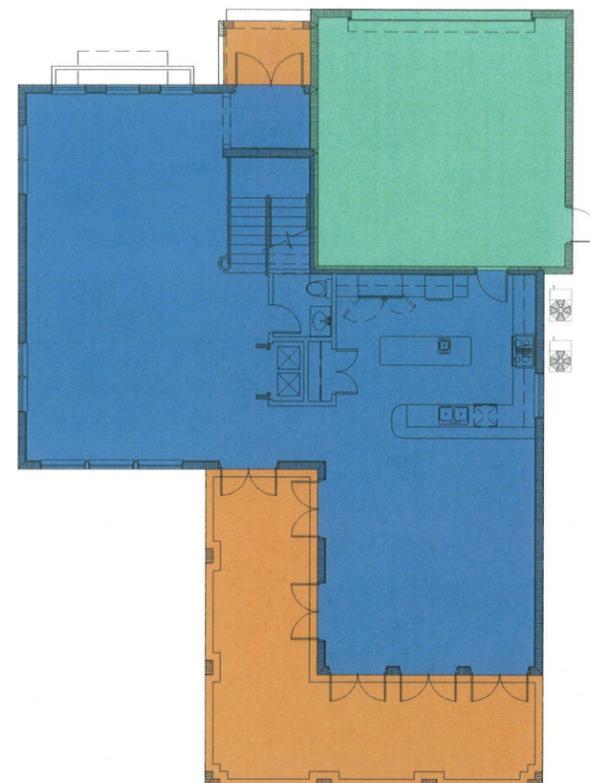
Lots 22, 23 and 24

TOTAL Building Area.....4,180.84 sf
 Ground Floor area.....1,845.71 sf (fully computed)
 Second Floor Area.....1,262.87 sf (fully computed)
 Garage.....5420.48 sf (computed at 75%)
 Balconies, open terrace and Entry.....529.78 sf (not computed)

FLA Area provided.....3,536.99 sf

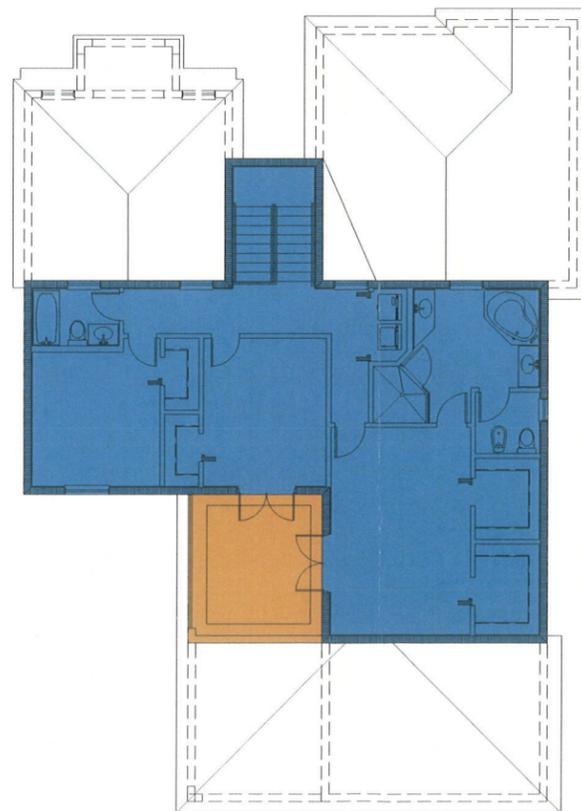


SECOND FLOOR PLAN

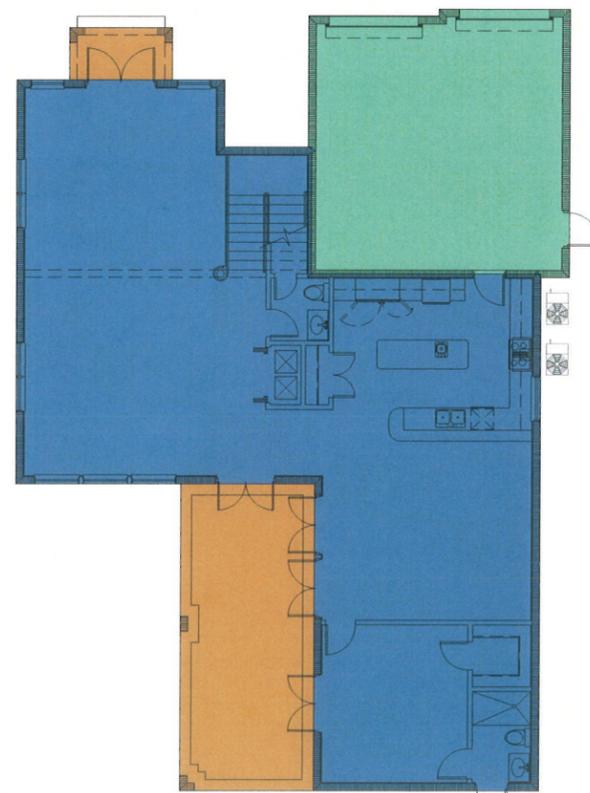


GROUND FLOOR PLAN

LOTS 19, 20 AND 21



SECOND FLOOR PLAN



GROUND FLOOR PLAN

LOTS 22,23 AND 24

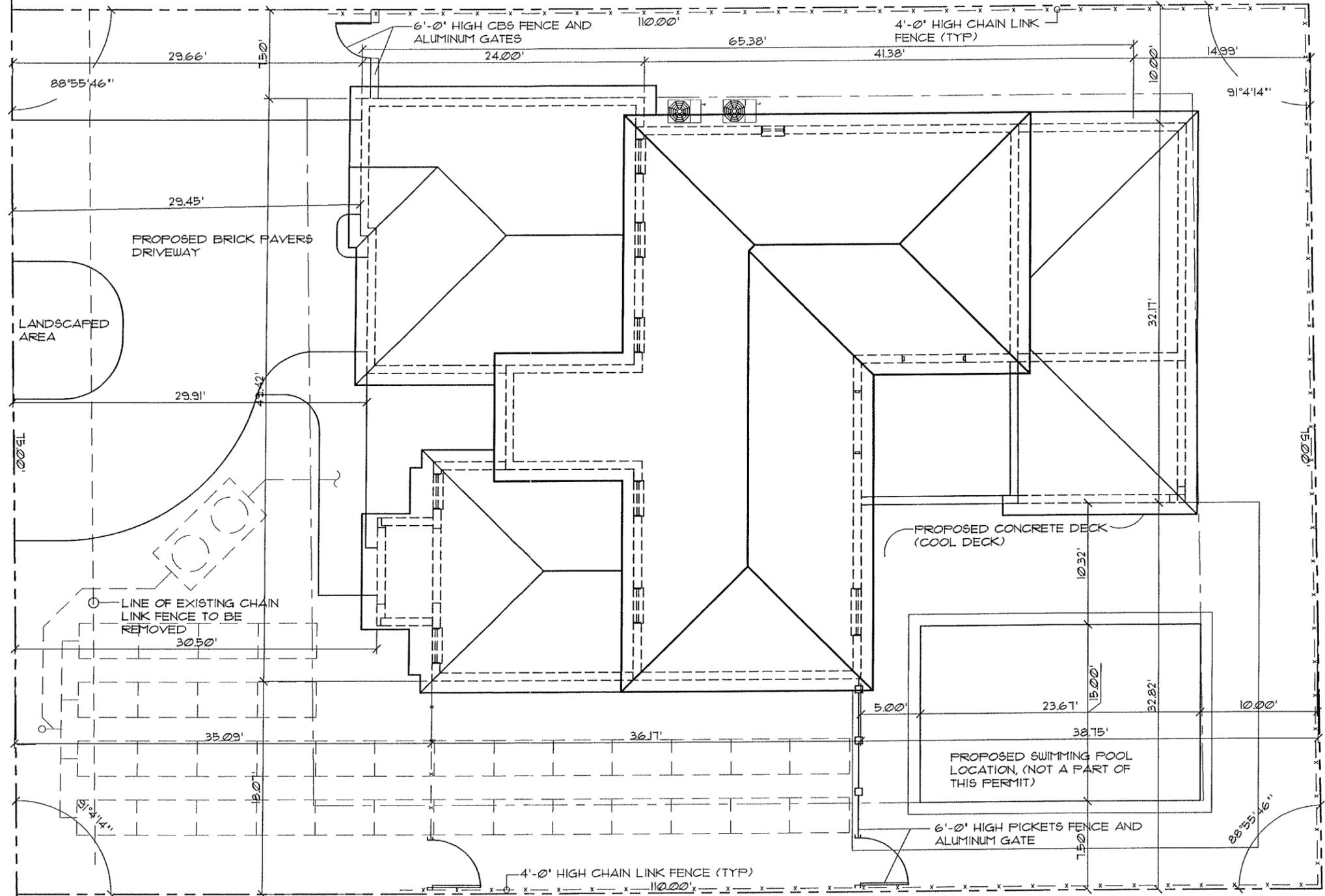
S.W. 57th STREET - RED ROAD

60' TOTAL RIGHT OF WAY

30' EXISTING PAVEMENT

10' EXISTING PARKWAY

EXISTING 5'-0" WIDE CONCRETE SIDEWALK

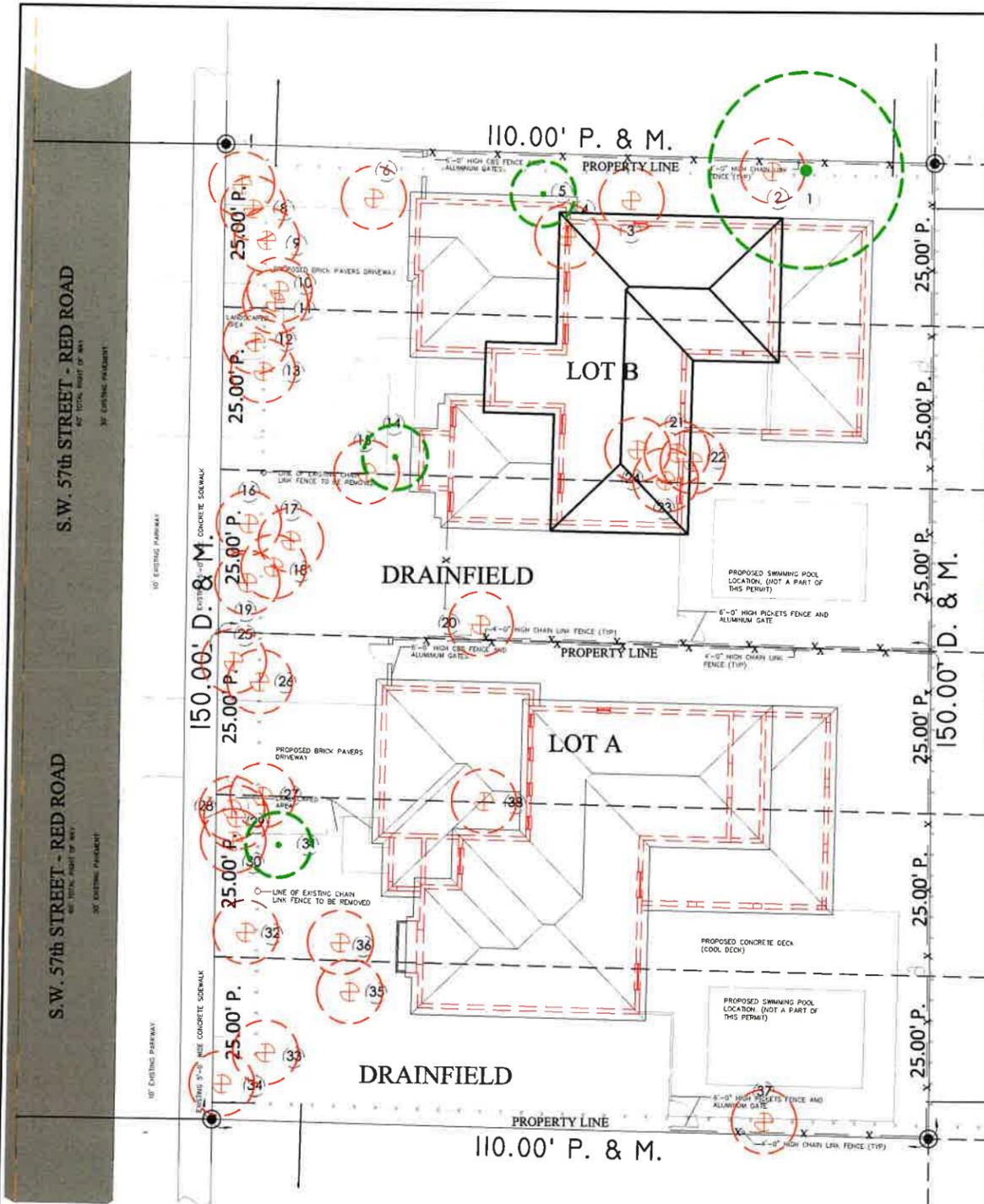


LOTS 22, 23 AND 24

SITE PLAN
SCALE 1" = 10'



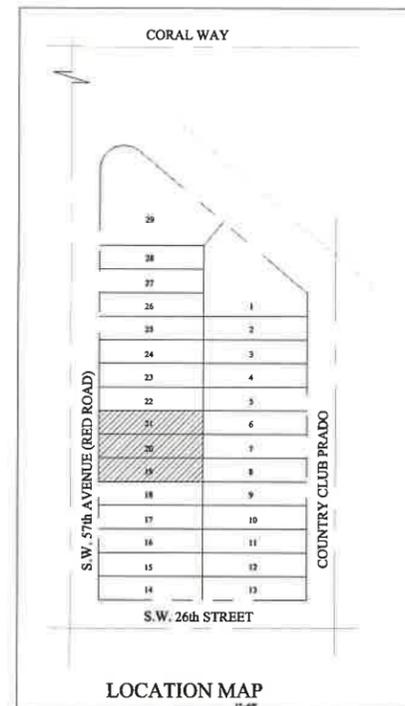
FELIX PARDO & ASSOCIATES, Inc.
ARCHITECTURE / PLANNING / INTERIORS
255 UNIVERSITY DRIVE, CORAL GABLES, FLORIDA
33134 Phone:(305) 445-4555 Fax:(305) 445-7006 AA 0002478
FELIX PARDO LIC # 8236



TREE DISPOSITION PLAN
SCALE: 3/32"=1'-0"

TREE NO.	BOTANICAL NAMES	TYPE (COMMON NAME)	DIAMETER		HEIGHT IN FEET	TREE EXISTING CANOPY IN FEET	TREE CANOPY LOSS IN SQ. FT.	PALM EXISTING CANOPY IN FEET	30% PALM CANOPY LOSS IN SQ. FEET	CONDITION	NATIVE	DISPOSITION OF TREES AND PALMS
			INCHES AT 4.5' DBH	INCHES								
1	Delonix regia	Royal Poinciana	36	50	45					FAIR	NO	TO REMAIN
2	Brassia actinophylla	Schefflera	24	30	18							INVASIVE TO BE REMOVED- CAREFULLY-INTERGRATED WITH POINCIANA TREE
3	Terminalia catta	Tropical Almond	26	35	25							INVASIVE-REMOVED
4	Quercus virginiana	LIVE OAK	18	55	40	3200				FAIR	YES	REMOVE IN CONFLICT WITH PROPOSED HOME
5	Quercus virginiana	LIVE OAK	29	40	35					FAIR	YES	TO REMAIN
6	Quercus virginiana	LIVE OAK	22	45	30	1800				FAIR	YES	REMOVE IN CONFLICT WITH PROPOSED HOME
7	Terminalia catta	Tropical Almond	36	18	15							INVASIVE-REMOVED
8	Terminalia catta	Tropical Almond	10	20	20							INVASIVE-REMOVED
9	Terminalia catta	Tropical Almond	6	40	40							INVASIVE-REMOVED
10	Delonix regia	Royal Poinciana	6	20	15	225				FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
11	Ptychosperma alexandrea	Alexander palm	6	22			10	30		FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
12	Terminalia catta	Tropical Almond	7	25	15							INVASIVE-REMOVED
13	Terminalia catta	Tropical Almond	14	45	38							INVASIVE-REMOVED
14	Quercus virginiana	LIVE OAK	18	35	40					FAIR	YES	TO REMAIN
15	Terminalia catta	Tropical Almond	14	30	35							INVASIVE-REMOVED
16	Terminalia catta	Tropical Almond	11	25	20							INVASIVE-REMOVED
17	Ficus aurea	Strangler Fig	60	55	50	5000				FAIR	YES	REMOVE IN CONFLICT WITH PROPOSED HOME
18	Syagrus romanzoffianum	QUEEN PALM	11	28			18	97		FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
19	Terminalia catta	Tropical Almond	12	30	18							INVASIVE-REMOVED
20	Persea americana	AVOCADO	36	25	30	1800				FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
21	Bursera simaruba	Gumbo Limbo	31	50	50	5000				FAIR	YES	REMOVE IN CONFLICT WITH PROPOSED HOME
22	Syagrus romanzoffianum	QUEEN PALM	12	25			18	97		FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
23	Syagrus romanzoffianum	QUEEN PALM	11	35			15	67		FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
24	Pandanus utilis	Screw pine	16	30			15	67		FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
25	Terminalia catta	Tropical Almond	16	50	30							INVASIVE-REMOVED
26	Terminalia catta	Tropical Almond	26	50	35							INVASIVE-REMOVED
27	Terminalia catta	Tropical Almond	7	18	12							INVASIVE-REMOVED
28	Terminalia catta	Tropical Almond	22	15	10							INVASIVE-REMOVED
29	Ptychosperma elegans	Solitaire Palm	5	15			8	20		FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
30	Ptychosperma alexandrea	Alexander palm	10	25			12	43		FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
31	Ficus aurea	Strangler Fig	60	60	50					FAIR	YES	TO REMAIN
32	Terminalia catta	Tropical Almond	18	30	25							INVASIVE-REMOVED
33	Terminalia catta	Tropical Almond	24	45	30							INVASIVE-REMOVED
34	Terminalia catta	Tropical Almond	8	25	15							INVASIVE-REMOVED
35	Ptychosperma alexandrea	Alexander palm	11	30			18	97		FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
36	Ptychosperma alexandrea	Alexander palm	12	25			15	67		FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME
37	Terminalia catta	Tropical Almond	12	35	20							INVASIVE-REMOVED
38	Persea americana	AVOCADO	31	30	25	1250				FAIR		REMOVE IN CONFLICT WITH PROPOSED HOME AND DRAINFIELD
ITEM REQUIREMENTS FOR TREE REMOVAL AS PER DERM CALCULATION S						12025.0						
TOTAL SQ FT OF TREE CANOPY						12,025	PLUS	585.0	12610			SQ FT OF CANOPY LOSS

12,610 SQ FT DIVIDED BY 500 SQ FT = 25 REPLACEMENT TREES REQUIRED - ALL MUST BE NATIVE TREES
30% OF REQUIRED TREES CAN BE PALM TREES IN LIEU OF TREES
IF ALL TREES CAN NOT BE PLACED ON SITE AGREEMENT BETWEEN CITY AND OWNER CAN BE MADE FOR TREES TO BE PLACED OFF SITE OR DONATION TO TREE FUND. CITY TO DETERMINE AMOUNT TO BE PAID.



#10 NUMBER OF EA TREE, SEE LIST

- EXISTING TREE TO BE REMAIN
- EXISTING TREE TO BE REMOVED
- EXISTING TREE TO BE RELOCATED
- NEW LOCATION FOR THE RELOCATED EXISTING TREES

Mariano Corral
Landscape Architect
Landscape Architecture
Golf Course Design
Land Planning
Urban Design
Member of the American Society of Landscape Architects

PROPOSED NEW RESIDENCES FOR:
FVP 57 AVENUE, LLC
25xx SW 57th Avenue
Coral Gables, Florida 33134

Consultant

SCALE:
AS SHOWN
PROJECT NUMBER
07192015-R
DATE:
07-20-15

REVISIONS:

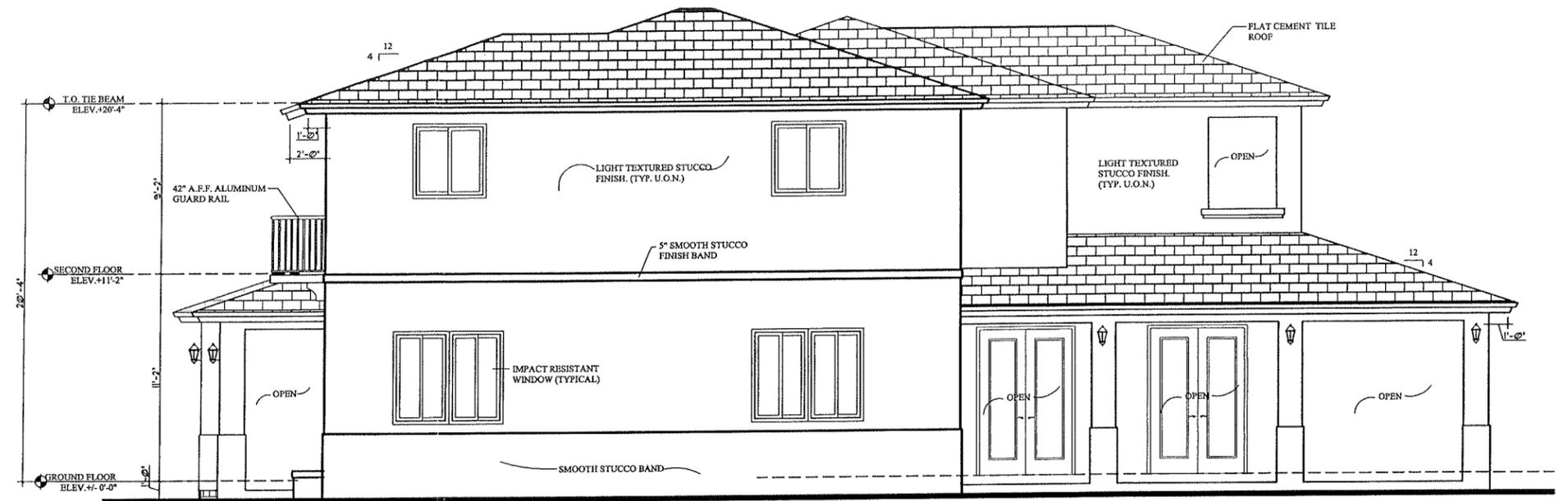
SEAL:

LIC.# LA 666671
SHEET NUMBER:
LD-1

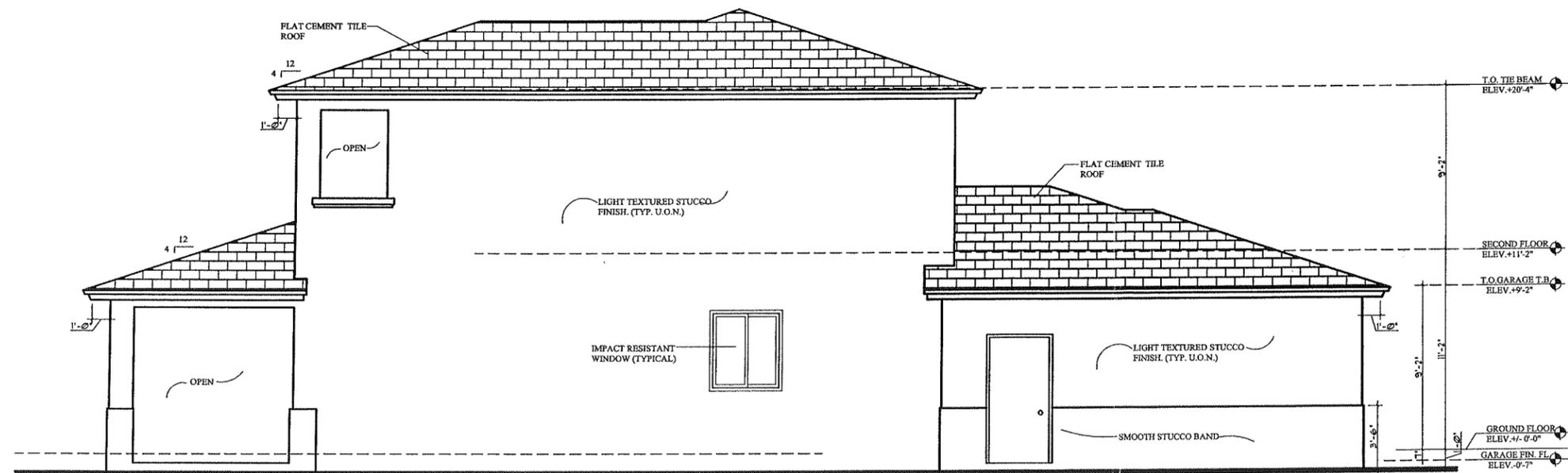
Know what's below.
Call before you dig.
IT'S THE LAW!

3601 SW 109 Court
Miami, Florida 33165
Tel: (305) 551-1242
Fax: (305) 229-4144
EMAIL: marianocorral@corralca.com

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SOUTH ELEVATION (RIGHT)



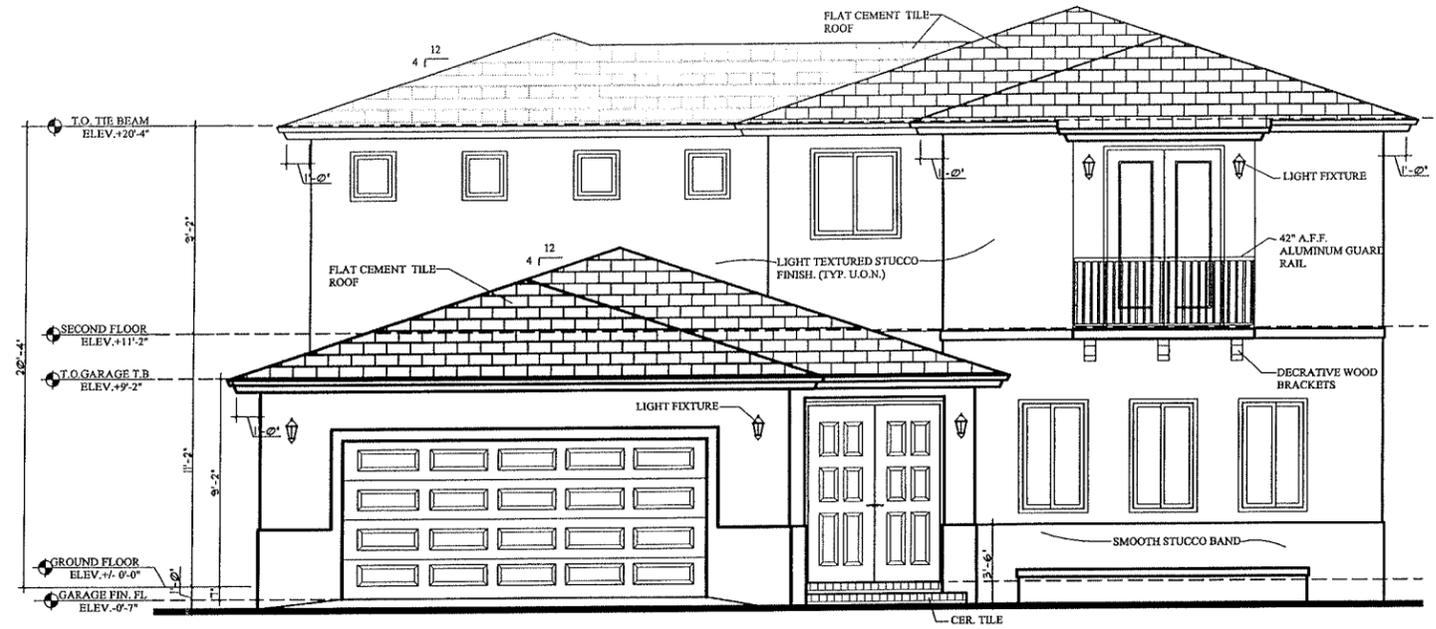
NORTH ELEVATION (LEFT)

LOTS 19, 20 AND 21
EXTERIOR BUILDING ELEVATION

SCALE 1/8" = 1'-0"



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FELIX PARDO LIC. # 8236



WEST ELEVATION (FRONT)



EAST ELEVATION (REAR)

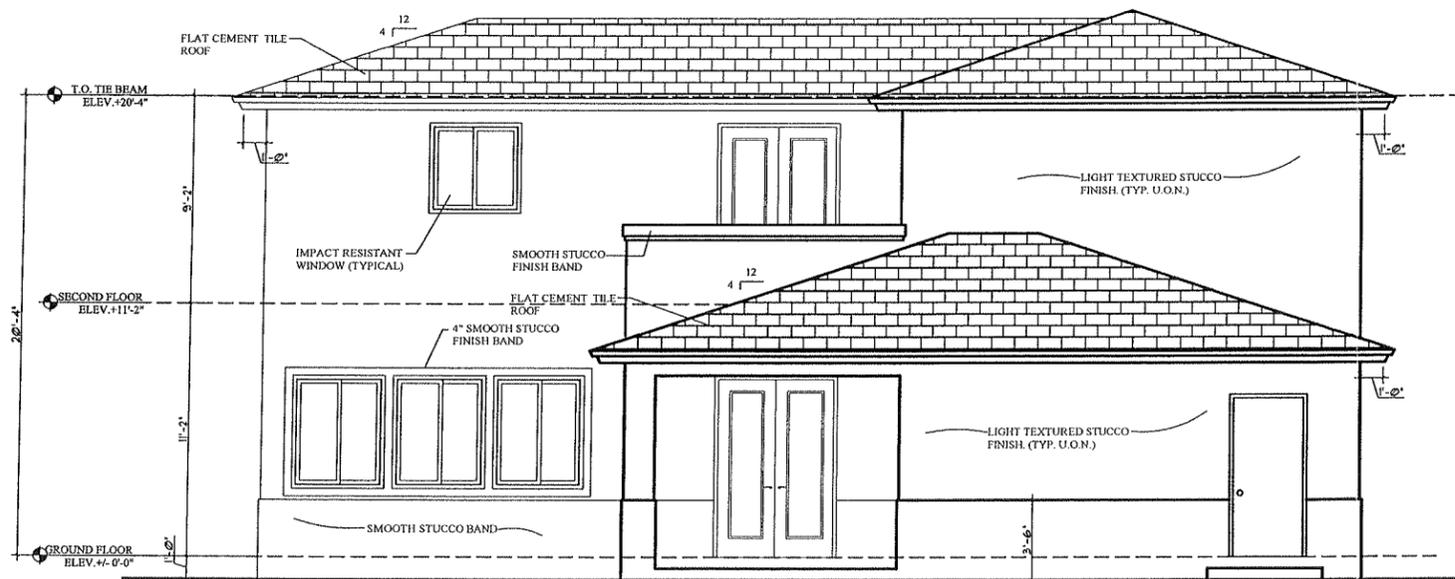
LOTS 19, 20 AND 21
 EXTERIOR BUILDING ELEVATION
 SCALE 1/8" = 1'-0"



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WEST ELEVATION (FRONT)



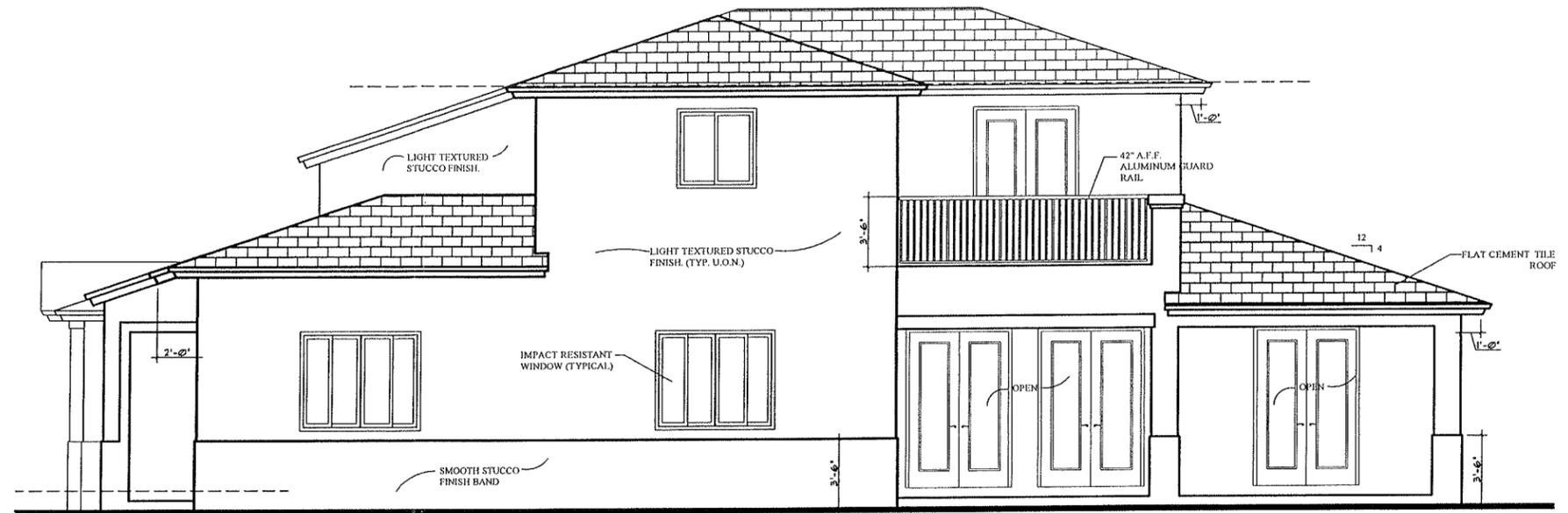
EAST ELEVATION (REAR)

LOTS 22, 23 AND 24
EXTERIOR BUILDING ELEVATION

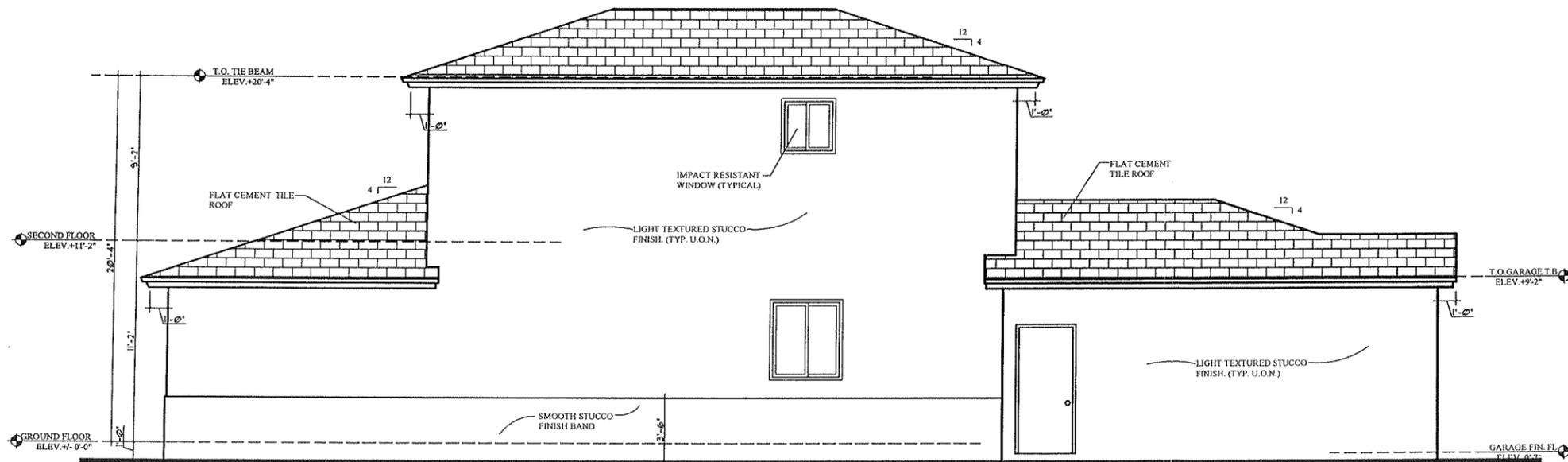
SCALE 1/8" = 1'-0"



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SOUTH ELEVATION (RIGHT)



NORTH ELEVATION (LEFT)

LOTS 22, 23 AND 24
EXTERIOR BUILDING ELEVATION

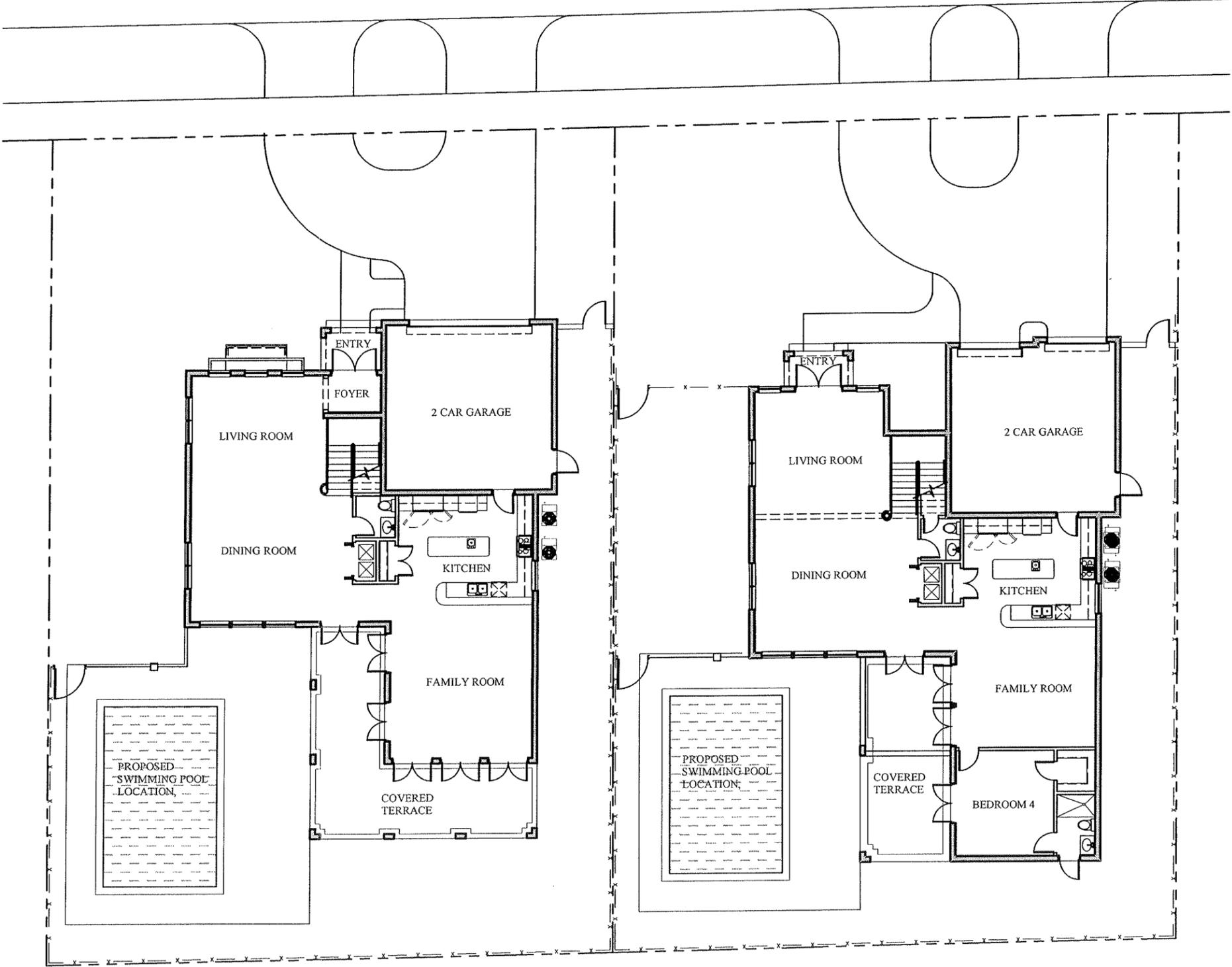
SCALE 1/8" = 1'-0"



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FELIX PARDO LLC # 8236

S.W. 57th STREET - RED ROAD

60' TOTAL RIGHT OF WAY



GROUND FLOOR COMPOSITE PLAN

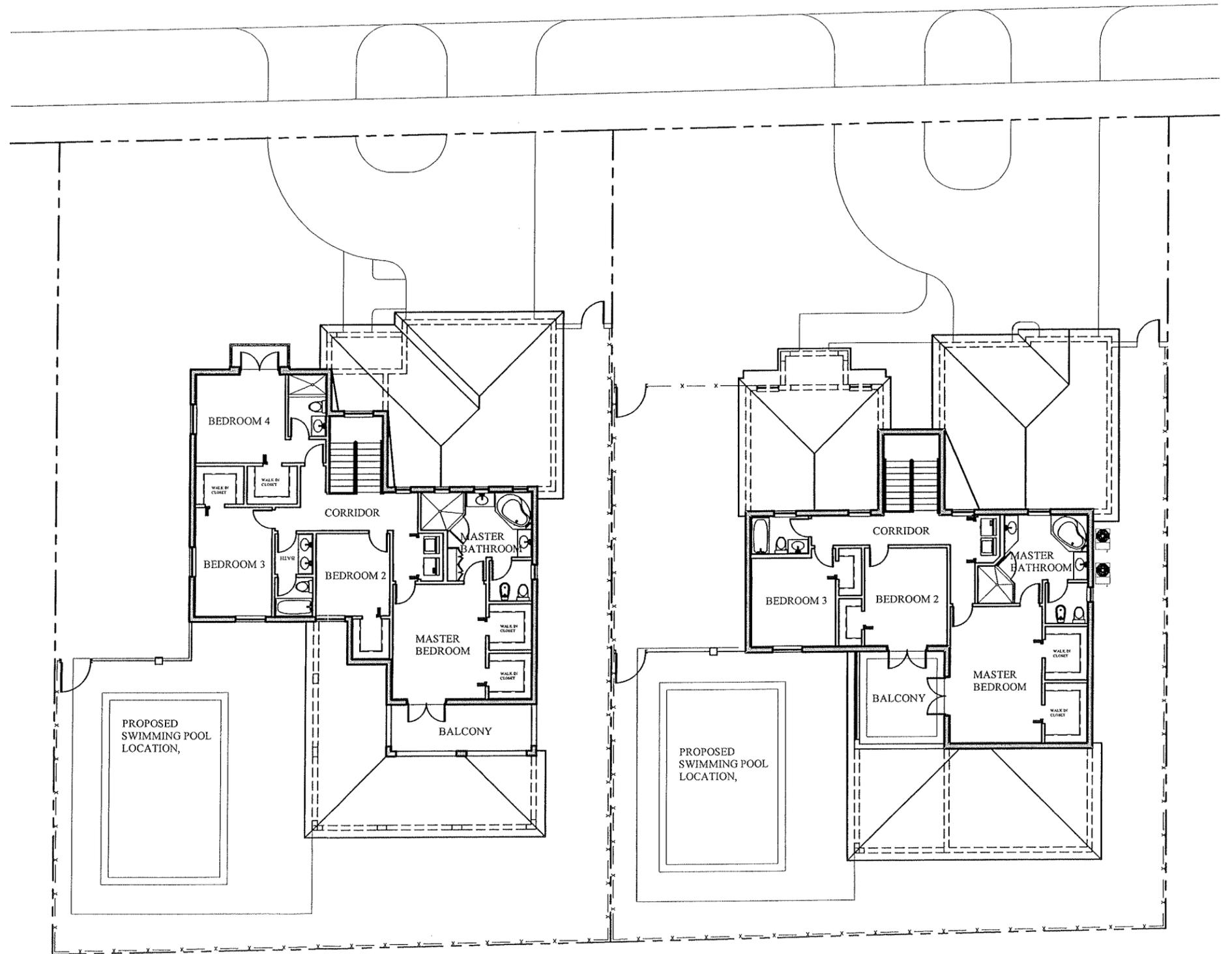
SCALE 1/16" = 1'-0"



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S.W. 57th STREET - RED ROAD

60' TOTAL RIGHT OF WAY



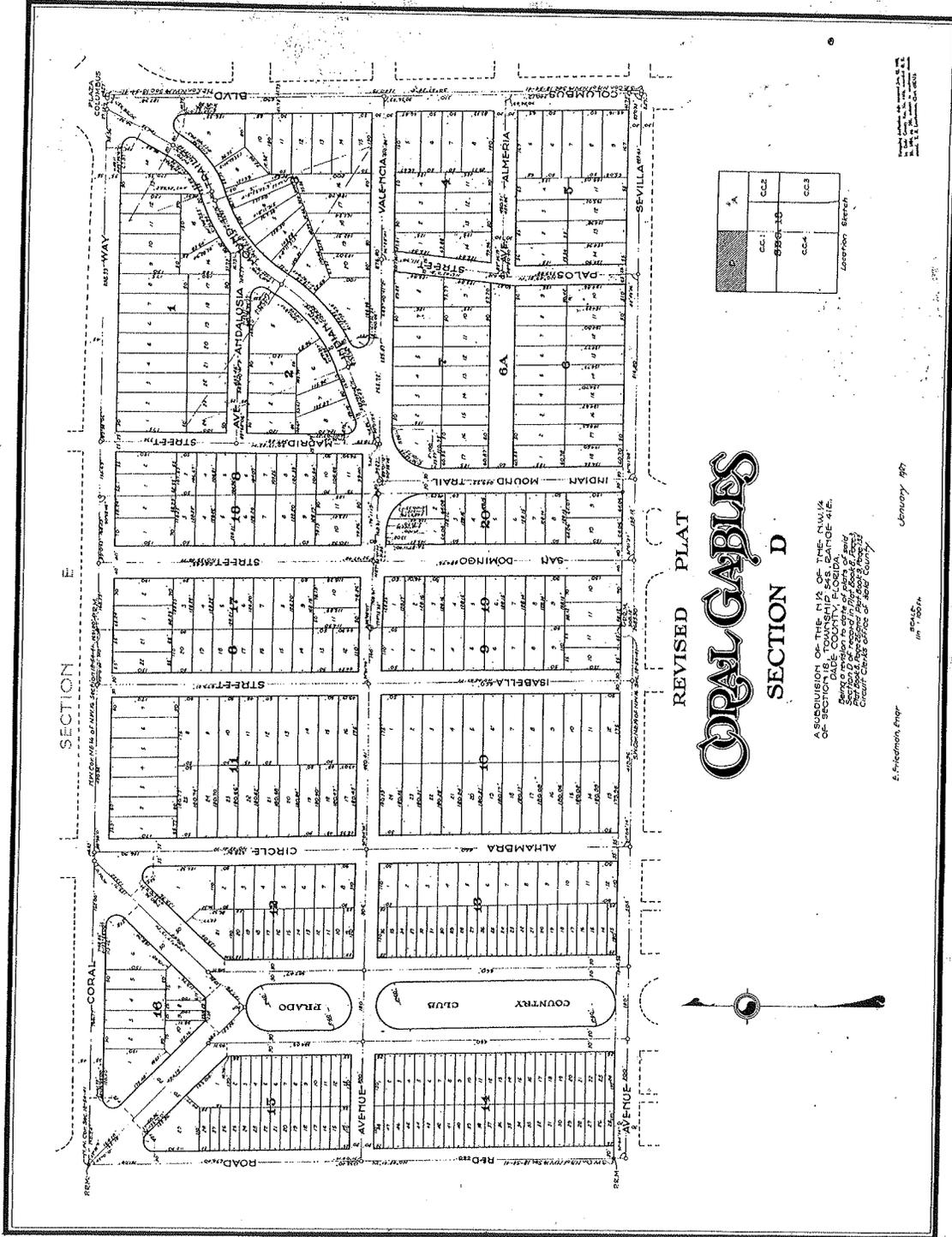
SECOND FLOOR COMPOSITE PLAN

SCALE 1/16" = 1'-0"



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33134 Phone (305) 445-4555 Fax: (305) 445-7006 AA 0602478
FELIX PARDO LIC.# 8236

205-74



REVISED PLAT
CORAL GABLES
 SECTION D

A SUBDIVISION OF THE N1/4 OF THE N1/4 OF SECTION 16, TOWNSHIP 24 S., RANGE 41 E., BEING A PORTION OF THE CORAL GABLES PLAT, AS SHOWN ON PLAT 10,000, 10,001, 10,002, 10,003, 10,004, 10,005, 10,006, 10,007, 10,008, 10,009, 10,010, 10,011, 10,012, 10,013, 10,014, 10,015, 10,016, 10,017, 10,018, 10,019, 10,020, 10,021, 10,022, 10,023, 10,024, 10,025, 10,026, 10,027, 10,028, 10,029, 10,030, 10,031, 10,032, 10,033, 10,034, 10,035, 10,036, 10,037, 10,038, 10,039, 10,040, 10,041, 10,042, 10,043, 10,044, 10,045, 10,046, 10,047, 10,048, 10,049, 10,050, 10,051, 10,052, 10,053, 10,054, 10,055, 10,056, 10,057, 10,058, 10,059, 10,060, 10,061, 10,062, 10,063, 10,064, 10,065, 10,066, 10,067, 10,068, 10,069, 10,070, 10,071, 10,072, 10,073, 10,074, 10,075, 10,076, 10,077, 10,078, 10,079, 10,080, 10,081, 10,082, 10,083, 10,084, 10,085, 10,086, 10,087, 10,088, 10,089, 10,090, 10,091, 10,092, 10,093, 10,094, 10,095, 10,096, 10,097, 10,098, 10,099, 10,100.

E. Freeman, Engineer
 January 1917

Approved:
 Herbert S. Gresham, Jr., R.E.
 County Engineer

I do hereby certify that the information furnished in this plat is accurate and correct to the best of my knowledge and belief.

This plat was approved by Resolution No. 217 of the Board of Commissioners of the City of Coral Gables, Florida, on the 27th day of January, 1917.

17 24 25 1917



Exhibit A

25315

REF REC 2044 PAGE 576

RAMCO'S FORM 8

WARRANTY DEED (STATUTORY)

Warranty Deed

This Indenture, Made this 5th day of May, A.D. 1960

BETWEEN OSCAR F. MILLER and MARY ORME MILLER, his wife,

of the County of Dade in the State of Florida, parties of the first part, and

HENRY C. HARDIN, JR. and MARGARET S. HARDIN, his wife
2508 COUNTRY CLUB PRADO, CORAL GABLES, FLA.

of the County of Dade in the State of Florida, parties of the second part.

WITNESSETH, That the said parties of the first part, for and in consideration of the sum of TEN DOLLARS (\$10) and other valuable considerations to them in hand paid by the parties of the second part, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said parties of the second part, their heirs and assigns, forever, the following described land, situate, lying and being in the

County of Dade and State of Florida, to-wit:
Lots 20, 21, 22, 23 and 24, Block 15, Section D, CORAL GABLES, according to the Plat thereof recorded in Plat Book 25, page 74, of the Public Records of Dade County, Florida,

Lot 19 in Block 15 of Section D, of CORAL GABLES, according to the Plat thereof recorded in Plat Book 8, at Page 25, of the Public Records of Dade County, Florida;

Also all that part of the twenty-foot strip of land lying within Block 15 of corrected Plat of Coral Gables, Section D, as recorded in Plat Book 8, Page 25, of the Public Records of Dade County, Florida, described as follows:

Begin at the Northwest corner of Lot 3 of Block 15 of the corrected plat of Coral Gables, Section D, as recorded in Plat Book 8, Page 25, of the Public Records of Dade County, Florida, thence Southerly along the Westerly lines of Lots 3, 4, 5, 6, 7 and 8 of Block 15 of the aforesaid subdivision a distance of 150 feet to the Southwest corner of Lot 8 of Block 15 of the aforesaid subdivision; thence Westerly a distance of 20 feet to the Southeast corner of Lot 19 of Block 15 of the aforesaid subdivision; thence Northerly along the Easterly lines of Lots 19, 20, 21, 22, 23 and 24 of Block 15 of aforesaid subdivision a distance of 150 feet to the Northeast corner of Lot 24, Block 15 of the aforesaid subdivision; thence Easterly a distance of 20 feet to the point of beginning.

And the said parties of the first part hereby fully warrant title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the said parties of the first part have hereunto set their hands and seals the day and year above written.

Signed, sealed and delivered in presence of us:
Oscar F. Miller (S) Mary Orme Miller (S)
E. Blum Brandon

State of Florida,

County of DADE

I Heretby Certify that on this day personally appeared before me, an officer duly authorized to administer oaths and take acknowledgments, OSCAR F. MILLER and MARY ORME MILLER, his wife, to me well known to be the persons described in and who executed the foregoing deed, and acknowledged before me that they executed the same freely and voluntarily for the purpose therein expressed.

Witness my hand and official seal at Miami,

County of Dade and State of Florida this 5th day of May A. D. 1960.

My commission expires:

9-16-61

Edward Martin
Notary Public, State of Florida.

EL 11

2044
576

STATE OF FLORIDA

6045-25101



Exhibit B

This application was approved by the Planning and Zoning Board on a year-to-year basis, subject to the condition that the existing low ficus hedge be replaced with a twelve-foot hedge, and the Planning Department staff also recommended approval.

Following discussion, action was taken upon motion duly made by Commissioner Valdes-Fauli, seconded by Commissioner Wolff, and unanimously carried by the following roll call: "Yeas", Commissioners Hildreth, Kerdyk, Valdes-Fauli and Wolff; Mayor Corrigan; this ordinance will be considered on second reading at the next regular meeting of the City Commission, and if adopted on second and final reading will become effective thirty days from that date.

AEIF-877

ITEM 34. REQUEST TO SEPARATE PROPERTY ON RED ROAD INTO THREE BUILDING SITES

A request to amend the Zoning Code was denied on first reading for the purpose of separating property on Red Road, legally described as Lots 19 through 24, Block 15, Section "D", into three separate building sites, following due consideration at this time.

At the Commission Meeting January 26, 1988 by Ordinance No. 2761, the City Commission approved the separation of Lots 19 through 24, which are the subject of the application herein, from Lots 3 through 8, creating two building sites, each consisting of six lots with frontages of one hundred and fifty feet, each.

The applicant was requesting at this time to separate Lots 19 through 24 into three more sites, one site to consist of Lots 19 and 20, one site to consist of Lots 21 and 22, and one site to consist of Lots 23 and 24. Each site would then measure one hundred ten feet by fifty feet.

→ Zoning Administrator Dennis Smith ruled on September 29, 1987 that Lots 3 through 8 and 19 through 24 were considered one building site due to the fact that a chain link fence encroaches onto Lots 19 through 24 from Lots 3 and 8. The Planning Department staff recommended against the separation of the lots into three separate sites, and the Planning and Zoning Board failed to receive the required majority for approval.

Acting Planning Director Diana Wheeler related the details of the application and, following discussion, action was taken upon motion duly made by Commissioner Valdes-Fauli, seconded by Commissioner Kerdyk, and unanimously carried by the following roll call, denying the application: "Yeas", Commissioners Hildreth, Kerdyk, Valdes-Fauli and Wolff; Mayor Corrigan; by virtue of the foregoing action taken, the request to amend the zoning code for lot-splitting purposes was denied on first reading.

Exhibit C

ORDINANCE NO. 2761

AN ORDINANCE AMENDING ORDINANCE NO. 1525, AS AMENDED, AND KNOWN AS THE "ZONING CODE", BY AMENDING ARTICLE XIII SECTION 13-3(a)4 THEREOF, ENTITLED, "BUILDING SITES - R, D AND A USES AT DESIGNATED LOCATIONS"; BY PROVIDING THAT LOTS 3 THROUGH 8, INCLUSIVE, AND LOTS 19 THROUGH 24, INCLUSIVE, BLOCK 15, SECTION "D" (2508 COUNTRY CLUB PRADO AND RED ROAD), CORAL GABLES, DADE COUNTY, FLORIDA, SHALL BE PERMITTED TO BE USED AS TWO SEPARATE BUILDING SITES; AND REPEALING ALL ORDINANCES INCONSISTENT HEREWITH.

WHEREAS, Application No. 338-P was submitted requesting an amendment to Article XIII, Section 13-3(a), of Ordinance No. 1525, as amended, and known as the "Zoning Code", to provide that Lots 3 through 8, inclusive, and Lots 19 through 24, inclusive, Block 15, Section "D" (2508 Country Club Prado and Red Road), Coral Gables, Dade County, Florida, be permitted to be used as two separate building sites; and

WHEREAS, after notice of public hearing duly published, a public hearing was held before the Planning and Zoning Board of the City of Coral Gables on December 21, 1987, at which hearing all interested persons were afforded an opportunity to be heard; and

WHEREAS, the Planning and Zoning Board at its regular meeting held on December 21, 1987, recommended to the City Commission that said application be approved;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. That from and after the effective date of this ordinance Article XIII, Section 13-3(a) of Ordinance No. 1525, as amended and known as the "Zoning Code", entitled: "Building Sites - R, D and A Uses at Designated Locations", shall be and it is hereby amended by adding thereto a new paragraph 4.(b)1 and 2 to read as follows:

Sec. 13-3. BUILDING SITES - R, D AND A USES AT DESIGNATED LOCATIONS.

4. Section "D"

- b. Lots 3 through 8, inclusive, and 19 through 24, inclusive, Block 15, shall be considered two building sites as follows:
1. One building site to consist of Lots 3 through 8, inclusive.
 2. One building site to consist of Lots 19 through 24, inclusive.

SECTION 2. That all ordinances or parts of ordinances inconsistent or in conflict herewith shall be and they are hereby repealed insofar as there is conflict or inconsistency.

PASSED AND ADOPTED THIS TWENTY-SIXTH DAY OF JANUARY, A.D., 1988

APPROVED:


GEORGE M. CORRIGAN
MAYOR

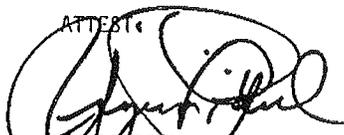
ATTEST:

VIRGINIA L. BAUL
CITY CLERK

Exhibit D

2750.00

1988 MAR -2 PM 3:14

88R074306

OFF REC 13593 PG 371

This instrument was prepared by:
Osiason & Singer, P.A.
1200 Brickell Ave.
Suite 1610
Miami, Florida 33131

WARANTY DEED

THIS INDENTURE, Made this 1st day of March, 1988, BETWEEN HENRY C. HARDIN, JR. and MARGARET S. HARDIN, His Wife, of the County of Dade, State of Florida, Grantors, and RICHARD B. BERENSON and ALINA T. BERENSON, His Wife, whose post office address is: 2508 Country Club Prado, Coral Gables, Florida 33134, Grantees,

WITNESSETH: That said Grantors, for and in consideration of the sum of TEN AND NO/100 (\$10.00) DOLLARS, and other good and valuable considerations to said Grantors in hand paid by said Grantees, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantees, and Grantees' heirs and assigns forever, the following described land, situate, lying and being in Dade County, Florida, to-wit:

Lots 3 through 8, all inclusive, in Block 15, of REVISED PLAT OF CORAL GABLES SECTION "D", as recorded in Plat Book 25, at Page 74, of the Public Records of Dade County, Florida.

-AND-

Lots 19 through 24, all inclusive, in Block 15, of REVISED PLAT OF CORAL GABLES SECTION "D", as recorded in Plat Book 25, at Page 74, of the Public Records of Dade County, Florida.

- SUBJECT TO:
- 1) Taxes for the year 1988 and subsequent years.
 - 2) Conditions, restrictions, limitations, easements and zoning ordinances of record, if any.

and said Grantors do hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantors have hereunto set Grantors' hands and seals the day and year first above written.

Signed sealed and delivered
in our presence:

Henry C. Hardin, Jr.
Margaret S. Hardin

Henry C. Hardin, Jr. (Seal)
HENRY C. HARDIN, JR.

Margaret S. Hardin (Seal)
MARGARET S. HARDIN, His Wife

STATE OF FLORIDA)
SS
COUNTY OF DADE)

I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared HENRY C. HARDIN, JR. and MARGARET S. HARDIN, His Wife, to me known to be the persons described in and who executed the foregoing instrument

Documentary Stamps Collected \$ 2750.00
 \$ _____ SURTAX Doc. Stamps Collected
 Class "C" Intangible Tax Collected \$ _____
 Richard P. Brinkley, Clerk, Dade County, Fla.
 By *[Signature]* 3/2/88 DC

11-52

OFF REC 13593 PG 372

and acknowledged before me that they executed the same freely and voluntarily for the purposes therein expressed.

WITNESS my hand and official seal in the County and State last aforesaid this 5th day of March, 1988.



My commission expires:

Maria Lopez
NOTARY PUBLIC
State of Florida at Large

Notary Public, State of Florida at Large
My Commission Expires July 29, 1988

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA
RECORD VERIFIED
RICHARD P. BRINKER
CLERK CIRCUIT COURT

Exhibit E

BUILDING SITE FRONTAGE ANALYSIS

	0' - 75'	+ 76'	Total
# of Building Sites	46	51	97
% of Building Sites	47.42%	52.58%	100%

Lot	Block	Area	Frontage	lot depth	
1 & 2	15	12,209	*	*	*Irregular
3 to 8	15	19,500	150	130	
9 to 13	15	16,250	125	130	
14	15	2,750	25	110	
15	15	2,750	25	110	
16	15	2,750	25	110	
17	15	2,750	25	110	
18	15	2,750	25	110	
19 to 21	15	8,250	75	110	
22 to 24	15	8,250	75	110	
25 & 26	15	5,500	50	110	
27 & 28	15	5,500	50	110	
29	15	13,000	*	*	* Irregular

1 to 4	14	13,000	100	130	
5 to 7 & 42 to 44	14	18,000	75	240	
8 to 10 & 39 to 41	14 14	18,000	75	240	
11 to 13	14	9,750	75	130	
14 to 16	14	9,750	75	130	
19 to 20	14	13,000	100	130	
21 to 24	14	13,000	100	130	
25 to 27	14	8,250	75	110	
29 & 28	14	5,500	50	110	
30 & 31	14	5,500	50	110	
32 & 33*	14	6,600	60	110	*plus 10' of lot 34
35 & 36*	14	7,150	65	110	*plus 15' of lot 34
37 & 38	14	5,500	50	110	
45 & 46	14	5,500	50	110	
47 & 48	14	5,500	50	110	

8	25	9,000	75	120	*plus 1/2 of lot 7
9 & 10	25	12,000	100	120	
11 & 12	25	19,651	*	*	* Irregular
13 & 14	25	12,750	*	*	* Irregular
15	25	5,700	50	114	
16	25	6,900	60	115	
17	25	5,750	50	115	
18	25	5,700	50	114	
19	25	5,700	50	114	
20	25	5,700	50	114	

10 & 11	23	12,000	100	120	
12 & 13	23	13,200	110	120	
14 & 15	23	12,330	*	*	* Irregular
16	23	13,794	*	*	* Irregular
17 & 18	23	16,250	125	130	*plus 1/2 of lot 19

9 & 10	9	16,500	100	165	
11 & 12	9	14,000	*	*	* Irregular *plus 20' of lot 13
14 & 15	9	17,500			* Irregular *plus 1/2 of lot 19

1 to 3	11	26,491	155.83	170	
4	11	*	*	*	*less 35'/25' of lot 4 *less 35' of lot 5 *Irregular
6	11	13,500	100	135	*less 35' of lot 7
8	11	14,875	85	175	*plus 35'/25' of lot 4 *plus 35' of lot 5 to 7
9	11	8,750	50	175	
10 & 11	11	16,625	95	175	
12 & 13	11	17,500	100	175	
14	11	8,750	50	175	
15 & 16	11	17,354	99.17	175	
29 & 28	11	5,500	50	110	
17	11	8,811	48.95	180	
18 & 19	11	17,195	95	181	
20 & 21	11	18,100	100	181	
22	11	13,575	75	181	*plus 1/2 of lot 23
24 & 25	11	*	*	*	* Irregular *plus 1/2 of lot 23

1 & 2	10	17,500	100	175	
3	10	13,125	75	175	*plus 1/2 of lot 4
5 & 6	10	21,875	125	175	*plus 1/2 of lot 4
7 & 8	10	17,500	100	175	
13 to 16	10	36,000	200	180	
17 & 18	10	22,500	100	180	
19	10	13,500	75	180	*plus 25' lot 20
21 & 22	10	22,500	125	180	*plus 25' of lot 20
23 & 24	10	18,000	100	180	

1	12	17,377	*	*	*Irregular
2 & 3	12	11,000	100	110	
4	12	5,500	50	110	
5 & 6	12	11,000	100	110	
7 & 8	12	11,000	100	110	
9 to 11	12	9,750	75	130	
12	12	3,250	25	130	
13	12	3,250	25	130	
14	12	3,250	25	130	
15	12	3,250	25	130	
16 to 19	12	13,000	100	130	
20 & 21	12	*	*	*	* Irregular

1 & 2	13	11,000	100	110	
3	13	5,500	50	110	
4	13	5,500	50	110	
5	13	5,500	50	110	
6 & 7	13	11,000	100	110	
8 & 9	13	11,000	100	110	
10	13	5,500	50	110	
11 & 12	13	11,000	100	110	
13 to 16	13	13,000	100	130	
17 to 20	13	13,000	100	130	
21 to 30	13	32,500	250	130	
31 to 36	13	19,500	150	130	

1 & 2	1	12,725	101.8	125	
3 & 4	1	12,500	100	125	
5 to 7	1	18,750	150	125	



Aerial Photograph

Exhibit F

ORDINANCE NO. 2761

AN ORDINANCE AMENDING ORDINANCE NO. 1525, AS AMENDED, AND KNOWN AS THE "ZONING CODE", BY AMENDING ARTICLE XIII SECTION 13-3(a)4 THEREOF, ENTITLED, "BUILDING SITES - R, D AND A USES AT DESIGNATED LOCATIONS"; BY PROVIDING THAT LOTS 3 THROUGH 8, INCLUSIVE, AND LOTS 19 THROUGH 24, INCLUSIVE, BLOCK 15, SECTION "D" (2508 COUNTRY CLUB PRADO AND RED ROAD), CORAL GABLES, DADE COUNTY, FLORIDA, SHALL BE PERMITTED TO BE USED AS TWO SEPARATE BUILDING SITES; AND REPEALING ALL ORDINANCES INCONSISTENT HERewith.

WHEREAS, Application No. 338-P was submitted requesting an amendment to Article XIII, Section 13-3(a), of Ordinance No. 1525, as amended, and known as the "Zoning Code", to provide that Lots 3 through 8, inclusive, and Lots 19 through 24, inclusive, Block 15, Section "D" (2508 Country Club Prado and Red Road), Coral Gables, Dade County, Florida, be permitted to be used as two separate building sites; and

WHEREAS, after notice of public hearing duly published, a public hearing was held before the Planning and Zoning Board of the City of Coral Gables on December 21, 1987, at which hearing all interested persons were afforded an opportunity to be heard; and

WHEREAS, the Planning and Zoning Board at its regular meeting held on December 21, 1987, recommended to the City Commission that said application be approved;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. That from and after the effective date of this ordinance Article XIII, Section 13-3(a) of Ordinance No. 1525, as amended and known as the "Zoning Code", entitled: "Building Sites - R, D and A Uses at Designated Locations", shall be and it is hereby amended by adding thereto a new paragraph 4.(b)1 and 2 to read as follows:

Sec. 13-3. BUILDING SITES - R, D AND A USES AT DESIGNATED LOCATIONS.

4. Section "D"

- b. Lots 3 through 8, inclusive, and 19 through 24, inclusive, Block 15, shall be considered two building sites as follows:
 1. One building site to consist of Lots 3 through 8, inclusive.
 2. One building site to consist of Lots 19 through 24, inclusive.

SECTION 2. That all ordinances or parts of ordinances inconsistent or in conflict herewith shall be and they are hereby repealed insofar as there is conflict or inconsistency.

PASSED AND ADOPTED THIS TWENTY-SIXTH DAY OF JANUARY, A.D., 1988

APPROVED:

George M. Corrigan
 GEORGE M. CORRIGAN
 MAYOR

ATTEST:

Virginia L. Paul
 VIRGINIA L. PAUL
 CITY CLERK

21171PG2530

DECLARATION OF RESTRICTIVE COVENANT

BOARD OF ARCHITECT # _____

KNOWN ALL MEN BY THESE PRESENTS:

WHEREAS, the undersigned BARBARA WINZINGER, is/are the fee simple owner(s) of the following described property situated and being in the City of Coral Gables, Florida:

Lot(s) 19-20-21 Block 15 of REVISED PALM C. GABLES Subdivision, Section No. D according to the Plat thereof, as recorded in Plat Book 25 at Page 74 of the Public Records of Miami-Dade County, Florida, and

WHEREAS, the undersigned has applied to the Public Works Department of the City of Coral Gables for permission to encroach over the right-of-way with DRIVE PAVERS in lieu of 1" asphaltic concrete approaches normally required and;

WHEREAS, the Public Works Department of the City of Coral Gables, pursuant to Resolution No. 24568, passed and adopted January 24, 1984, has authorized the request to encroach into, over or under the public right-of-way at 2517 SW 57 AVE, CORAL GABLES subject to, among other things, the undersigned agrees to (1) maintain the encroachment in good repair at all times; (2) replace the approach(es) in the event the Public Works Department must issue a permit for a utility cut in that area, and at the Owner's expense; (3) reserves unto the City the right to remove, add, maintain, or have the Owner(s) remove the improvements within the right-of-way, at the Owner's expense; (4) save the City harmless and; (4) furnish the City with a policy or certificate of insurance coverage in the minimum limits of \$300,000 each person and \$300,000 each occurrence for bodily injury and \$250,000 each occurrence on property damage or \$300,000 single limit coverage and naming the City as co-insured under such policy.

NOW, THEREFORE, for good and valuable consideration, the undersigned do(es) hereby declare that I will not convey or cause to be conveyed the title to the above property without requiring the successor in title to abide by all of the terms and conditions set forth herein.

FURTHER, the undersigned declare(s) that this covenant is intended and shall constitute a Restrictive Covenant concerning the use, enjoyment and title to the above property and shall constitute a covenant running with the land and shall be binding upon the undersigned, _____ successors and assigns.

IN WITNESS WHEREOF, the undersigned has/have caused 3 hand(s) and seal(s) to be affixed hereto on this 22 day of NOV, 2002.

WITNESS: [Signature]
Print Name: Juan Pedraza
[Signature]
Print Name: Leann Martinez

OWNER(S): [Signature]
Print Name: Barbara Winzinger
!
Print Name: _____

STATE OF FLORIDA)
)
COUNTY OF DADE)

I HEREBY CERTIFY that on this day personally appeared before me Barbara A. Winzinger who is personally known to me, or has produced _____ (type of identification) as identification and he/she acknowledges that he/she executed the foregoing, freely and voluntarily, for purposes therein expressed.

SWORN TO AND SUBSCRIBED before me this 22nd day of November, 20 02.
My Commission Expires: 11-16-2003

 **Luisa M Lopez**
My Commission D0041657
Expires November 16, 2003

[Signature]
NOTARY PUBLIC STATE OF FLORIDA
Print Name: Luisa M. Lopez
Commission No.: D0041657

PREPARED BY:
Juan Pedraza
9060 NW 8 St.
MIAMI FL 33172.

APPROVED AS TO FORM:
[Signature]
Elizabeth M. Hernandez, Esq.
City Attorney

REV. AUG 02
Engineered by: Eng/socon/llm/Doco/RestrictiveCovenant/Spcltbl/Driveway.doc

RECORDED IN OFFICIAL RECORDED BOOK
OF DADE COUNTY, FLORIDA
PAGE NO. VERIFIED
HARVEY FRAJN
CLERK, DADE COUNTY

03R243220 2003 APR 14 10:13

CFN 2003R0486747
OR Ek 21433 Px 5000f (1px)
RECORDED 07/17/2003 11:19:41
HARVEY RUVIN, CLERK OF COURT
MIAMI-DADE COUNTY, FLORIDA
LAST PAGE

DECLARATION OF RESTRICTIVE COVENANT

KNOW ALL MEN BY THESE PRESENTS: WHEREAS, the undersigned BARBARA WINZINGER is/are the fee simple owner(s) of the following described property situated and being in the City of Coral Gables, Florida:

Lot(s) 19, 20, 21 Block 15 of REVICER PLAT containing 15 lots, Subdivision, according to the plat thereof, as recorded in Plat Book 25 Page 74 of the Public Records of Dade County, Florida, and

WHEREAS, the undersigned owner(s) of a single family residence at 2517 SW 57 Ave, C. Gables, desive to utilize said Lot(s) as a single building site, and the undersigned owner(s) do(es) hereby declare and agree as follows:

- 1. That the single family residence will not be used in violation of any ordinances of the City of Coral Gables now in effect or hereinafter enacted.
- 2. That the said Lot(s) above described upon which the single family residence is situated shall not be conveyed, mortgaged, or leased separate or apart from each other and that they will be held together as one tract.

NOW, THEREFORE, for good and valuable consideration, the undersigned do(es) hereby declare that he/she will not convey or cause to be conveyed the title to the above property without requiring the successor in title to abide by all terms and conditions set forth herein.

FURTHER, the undersigned declare(s) that this covenant is intended and shall constitute a restrictive covenant concerning the use, enjoyment and title to the above property and shall constitute a covenant running with the land and shall be binding upon the undersigned, his/her successors and assigns and may only be released by the City of Coral Gables, or its successor, in accordance with the ordinance of said City then in effect.

IN WITNESS WHEREOF, the undersigned has/have caused 3 hand(s) and seal(s) to be affixed hereto on this 22 day of NOV, 2002.

WITNESS (ES) June Pedraza OWNER(S) Barbara Winzinger
Sign above and print name here June Pedraza Sign above and print name here Barbara Winzinger
Leon Yarbina Sign above and print name here _____
Sign above and print name here _____

STATE OF FLORIDA):
COUNTY OF DADE):

I HEREBY CERTIFY that on this day personally appeared before me Barbara A. Winzinger who is personally known to me or has produced _____ (type of identification) as identification and he/she acknowledge that he/she executed the foregoing, freely and voluntarily, for purposes therein expressed.

SWORN TO AND SUBSCRIBED before me on this 22nd day of November, 2002.

My commission expires: 11-16-2003.

PREPARED BY:
JUAN Pedraza
29060 NW 8th St
MIAMI FL 33192



Lilia M Lopez
My Commission DD041007
Expires November 16, 2003
NOTARY PUBLIC STATE OF FLORIDA

APPROVED AS TO FORM
[Signature]
Elizabeth M. Hernandez, City Attorney

UNITY OF TITLE

5419 (at)



CFN 20050714875
 DR Bk 23558 Pg 09981 (1pa)
 RECORDED 07/11/2005 14:43:30
 HARVEY RUVIN, CLERK OF COURT
 MIAMI-DADE COUNTY, FLORIDA
 LAST PAGE

DECLARATION OF RESTRICTIVE COVENANT

KNOW ALL MEN BY THESE PRESENTS: WHEREAS, the undersigned BARBARA WENZINGER is/are the fee simple owner(s) of the following described property situated and being in the City of Coral Gables, Florida:

Lot(s) 19-20-2 Block 15 of Revised Plat C Gables Subdivision, according to the plat thereof, as recorded in Plat Book _____ Page _____ of the Public Records of Dade County, Florida, and WHEREAS, the undersigned owner(s) of a single family residence at 2512 Red Road desire to utilize said Lot(s) as a single building site, and the undersigned owner(s) do(es) hereby declare and agree as follows:

1. That the single family residence will not be used in violation of any ordinance of the City of Coral Gables now in effect or hereinafter enacted.
2. That the garage and/or storage areas as shown on submitted plans will not be used as a habitable living area and also that it will be maintained as a one story portion of the residence at any time, now or in the future.

NOW, THEREOF, for good and valuable consideration, the undersigned do(es) hereby declare that he/she will not convey or cause to be conveyed the title to the above property without requiring the successor in title to abide by all terms and conditions set forth herein.

FURTHER, the undersigned declare(s) that this covenant is intended and shall constitute a restrictive covenant concerning the use, enjoyment and title to the above property and shall constitute a covenant running with the land and shall be binding upon the undersigned, his/her successors and assigns and may only be released by the City of Coral Gables, or its successor, in accordance with the ordinance of said City then in effect.

IN WITNESS WHEREOF, the undersigned has/have caused _____ hand(s) and seal(s) to be affixed hereto on this 14 day of June 2005.

WITNESS(S)
 Sign and print name here Juan Pedraza
 Sign and print name here Juan Pedraza

OWNER(S)
 Sign and print name here Barbara Wenzinger
 Sign and print name here _____

STATE OF FLORIDA)
 COUNTY OF DADE)

I HEREBY CERTIFY that on this day personally appeared before me Barbara Wenzinger who is personally known to me or has produced _____ (type of identification) as identification and he/she acknowledged that he/she executed the foregoing, freely and voluntarily, for purposes therein expressed.

SWORN TO AND SUBSCRIBED before me on this 14 day of JUNE, 2005.

My commission expires NOV 11, 2006
 MY COMMISSION # DD 414306
 EXPIRES: May 3, 2006
 Notary Public State of Florida

NOTARY PUBLIC STATE OF FLORIDA

PREPARED BY:
Juan Pedraza
1215 SW 192 CT.
MIAMI, FL 33174

APPROVED AS TO FORM

Elizabeth M. Hernandez, City Attorney

GARAGE COVENANT

6254

DECLARATION OF RESTRICTIVE COVENANT

KNOW ALL MEN BY THESE PRESENTS: WHEREAS, the undersigned Barbara Winzinger is/are the fee simple owner(s) of the following described property situated and being in the City of Coral Gables, Florida:

Lot(s) 19-20-21 Block 15 of R Plat Coral Gables subdivision, according to the plat thereof, as recorded in Plat Book 25 Page 74 of the Public Records of Dade County, Florida, and WHEREAS, the undersigned owner(s) of a single family residence at 2517 SW 57 Ave desire to utilize said Lot(s) as a single building site, and the undersigned owner(s) do(es) hereby declare and agree as follows:

1. That the single family residence will not be used in violation of any ordinance of the City of Coral Gables now in effect or hereinafter enacted.
2. That the garage and/or storage areas as shown on submitted plans will not be used as a habitable living area and also that it will be maintained as a one story portion of the residence at any time, now or in the future.

NOW, THEREOF, for good and valuable consideration, the undersigned do(es) hereby declare that he/she will not convey or cause to be conveyed the title to the above property without requiring the successor in title to abide by all terms and conditions set forth herein.

FURTHER, the undersigned declare(s) that this covenant is intended and shall constitute a restrictive covenant concerning the use, enjoyment and title to the above property and shall constitute a covenant running with the land and shall be binding upon the undersigned, his/her successors and assigns and may only be released by the City of Coral Gables, or its successor, in accordance with the ordinance of said City then in effect.

IN WITNESS WHEREOF, the undersigned has/have caused _____ hand(s) and seal(s) to be affixed hereto on this 24 day of April, 2003.

WITNESS(ES)

Sign and print name here Juan P. Pedro

Sign and print name here Serato Ali

OWNER(S)

Sign and print name here Barbara Winzinger

Sign and print name here _____

STATE OF FLORIDA);
COUNTY OF DADE);

I HEREBY CERTIFY that on this day personally appeared before me, Barbara Winzinger who is personally known to me or has produced _____ (type of identification) as identification and he/she acknowledge that he/she executed the foregoing, freely and voluntarily, for purposes therein expressed.

SWORN TO AND SUBSCRIBED before me on this 24th day of April, 2003.

My commission expires: Luis M Lopez
My Commission DD041857
Expires November 18, 2003

Luis M. Lopez
NOTARY PUBLIC STATE OF FLORIDA

PREPARED BY:
Juan Pedro
2517 SW 57 Ave
Miami - FL 33172

APPROVED AS TO FORM
Elizabeth M. Hernandez
City Attorney

GARAGE COVENANT

540 (GARAGE)

POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, that I, Peter Pessoa, as Managing Member of FVP Red Road, LLC., a Florida limited liability company (hereinafter referred to as "the Company"), do hereby certify that at a special joint meeting of all managers, managing members, members, stockholders, officers and directors of the aforesaid limited liability company duly called and held on the 5 day of August, 2015, at which meeting all of managers, managing members, members, stockholders, officers and directors were present and it was unanimously adopted:

WHEREAS, the Company owns the following described property:

Lots 19 through 24, inclusive, in Block 15, REVISED PLAT OF CORAL GABLES SECTION "D", according to the Plat thereof, as recorded in Plat Book 25, at Page 74, of the Public Records of Miami-Dade County, Florida.

(hereinafter referred to as the "Property"), and,

I HEREBY CERTIFY that the duly elected and serving managers of the Company are PETER S. PESSOA, ALICIO PINA and REINALDO VILLAR, together with all the managers, managing members, members, officers, stockholders and directors of the aforementioned company, have authorized RUBEN BERTRAN and/or LUIS VILLAR acting solely or jointly, have the full power and authority to act concerning the above referenced property as if fully and effectively done by me personally.

DATED this 5 day of August, 2015.

[Signature]
Witness

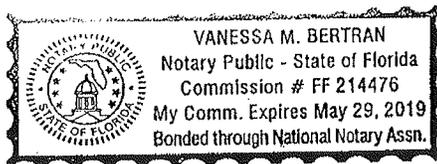
[Signature]
PETER S. PESSOA

[Signature]
Witness

STATE OF FLORIDA)
) SS:
COUNTY OF DADE)

BEFORE ME, the undersigned authority, PETER S. PESSOA, personally appeared, is personally known to me or has produced _____ as identification, who after having been first duly sworn by me, deposes and says that he executed the above Power of Attorney.

SWORN TO AND SUBSCRIBED before me this 5 day of August, 2015, in Miami, Dade County, Florida.



[Signature]
NOTARY PUBLIC, State of Florida
My Commission Expires:

LIMITED POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, that I, Peter Pessoa, as Managing Member of FVP Red Road, LLC., a Florida limited liability company (hereinafter referred to as "the Company"), do hereby certify that at a special joint meeting of all managers, managing members, members, stockholders, officers and directors of the aforesaid limited liability company duly called and held on the 5 day of August, 2015, at which meeting all of managers, managing members, members, stockholders, officers and directors were present and it was unanimously adopted:

WHEREAS, the Company owns the following described property:

Lots 19 through 24, inclusive, in Block 15, REVISED PLAT OF CORAL GABLES SECTION "D", according to the Plat thereof, as recorded in Plat Book 25, at Page 74, of the Public Records of Miami-Dade County, Florida.

(hereinafter referred to as the "Property"), and,

I HEREBY CERTIFY that the duly elected and serving managers of the Company are PETER S. PESSOA, ALICIO PINA and REINALDO VILLAR, together with all the managers, managing members, members, officers, stockholders and directors of the aforementioned company, have authorized FELIX PARDO of FELIX PARDO & ASSOCIATES to discuss and negotiate any and all matters relating to the zoning and architectural matters of the above referenced property. Further, I do authorize my aforesaid attorney-in-fact to do all things necessary to carry out the intent hereof, hereby granting unto my said attorney-in-fact full power and authority to act concerning the zoning and architectural matters as fully and effectively as done by me personally, limited, however, to the purpose for which this limited power of attorney is executed.

DATED this 5 day of August, 2015.

[Signature]
Witness

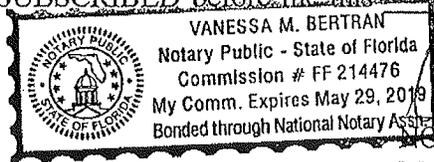
[Signature]
PETER S. PESSOA

[Signature]
Witness

STATE OF FLORIDA)
) SS:
COUNTY OF DADE)

BEFORE ME, the undersigned authority, PETER S. PESSOA, personally appeared, is personally known to me or has produced _____ as identification, who after having been first duly sworn by me, deposes and says that he executed the above Power of Attorney.

SWORN TO AND SUBSCRIBED before me this 5 day of August, 2015, in Miami, Dade County, Florida.



[Signature]
NOTARY PUBLIC, State of Florida
My Commission Expires:



CFN 2015R0312160
 DR BK 29617 Pas 2631-2632 (2Pas)
 RECORDED 05/15/2015 09:33:15
 DEED DOC TAX \$1,350.00
 SURTAX \$1,012.50
 HARVEY RUVIN, CLERK OF COURT
 MIAMI-DADE COUNTY, FLORIDA

Prepared by and return to:
 Robert M. Chisholm, Esq.
 Attorney at Law
 Robert M. Chisholm, P.A.
 4921 SW 74th Court
 Miami, FL 33155
 305-667-4261
 File Number: 14-15900
 Will Call No.:

[Space Above This Line For Recording Data]

Special Warranty Deed

This Special Warranty Deed made this 30th day of April, 2015 between Florida Community Bank, N.A. whose post office address is 2500 Weston Road, Suite 300, Weston, FL 33331, grantor, and FVP Red Road, LLC, a Florida limited liability company whose post office address is 15500 New Barn Road, Suite 104, Miami Lakes, Florida 33014, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Miami-Dade County, Florida, to-wit:

Lots 22 through 24, inclusive, in Block 15, REVISED PLAT OF CORAL GABLES SECTION "D", according to the Plat thereof, recorded in Plat Book 25, at Page 74, of the Public Records of Miami-Dade County, Florida.

Parcel Identification Number: 03-4118-002-1455

Subject to taxes for 2015 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Maite Mendiola
Witness Name: Maite Mendiola
Mamiah Tucker
Witness Name: Mamiah Tucker

Florida Community Bank, N.A.
By [Signature]
Larry Benton, Senior Vice President

(Corporate Seal)

State of Florida
County of Broward

The foregoing instrument was acknowledged before me this 30th day of April, 2015 by Larry Benton of Florida Community Bank, N.A., on behalf of the corporation. He/she is personally known to me or has produced a driver's license as identification.

[Notary Seal]



MAITE MENDIOLA
NOTARY PUBLIC
STATE OF FLORIDA
Comm# EE210524
Expires 6/24/2016

Maite Mendiola
Notary Public
Printed Name: Maite Mendiola
My Commission Expires: _____



CFN 2015R0312175
 DR BK 29617 Pgs 2675-2676 (2Pgs)
 RECORDED 05/15/2015 09:35:49
 DEED DOC TAX \$1,350.00
 SURTAX \$1,012.50
 HARVEY RUVIN, CLERK OF COURT
 MIAMI-DADE COUNTY, FLORIDA

Prepared by and return to:
 Robert M. Chisholm, Esq.
 Attorney at Law
 Robert M. Chisholm, P.A.
 4921 SW 74th Court
 Miami, FL 33155
 305-667-4261
 File Number: 14-15900
 Will Call No.:

[Space Above This Line For Recording Data]

Special Warranty Deed

This Special Warranty Deed made this 30th day of April, 2015 between Florida Community Bank, N.A. whose post office address is 2500 Weston Road, Suite 300, Weston, FL 33331, grantor, and FVP Red Road, LLC, a Florida limited liability company whose post office address is 15500 New Barn Road, Suite 104, Miami Lakes, Florida 33014, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Miami-Dade County, Florida, to-wit:

Lots 19 through 21, inclusive, in Block 15, REVISED PLAT OF CORAL GABLES SECTION "D", according to the Plat thereof, recorded in Plat Book 25, at Page 74, of the Public Records of Miami-Dade County, Florida.

Parcel Identification Number: 03-4118-002-1451

Subject to taxes for 2015 and subsequent years; covenants, conditions, restrictions, easements, reservations and limitations of record, if any.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons claiming by, through or under grantors.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Maite Mendiola
Witness Name: Maite Mendiola
Mahriah Tucker
Witness Name: Mahriah Tucker

Florida Community Bank, N.A.
By: [Signature]
Larry Benton, Senior Vice President

(Corporate Seal)

State of Florida
County of Broward

The foregoing instrument was acknowledged before me this 30th day of April, 2015 by Larry Benton of Florida Community Bank, N.A., on behalf of the corporation. He/she is personally known to me or has produced a driver's license as identification.

[Notary Seal]

 MAITE MENDIOLA
NOTARY PUBLIC
STATE OF FLORIDA
Comm# EE210524
Expires 6/24/2016

Maite Mendiola
Notary Public
Printed Name: Maite Mendiola
My Commission Expires: _____