

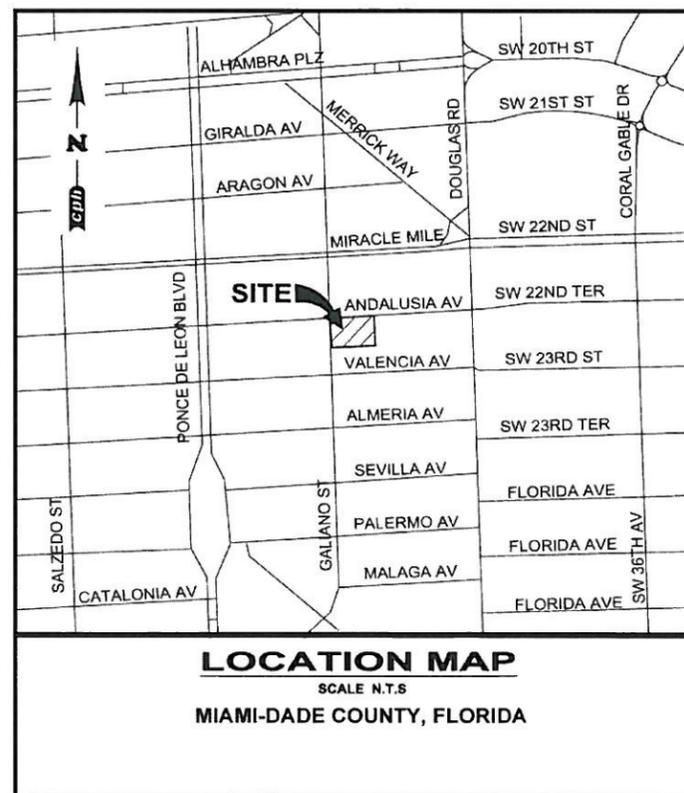


SUNTRUST

2501 GALIANO STREET
CITY OF CORAL GABLES,
MIAMI-DADE COUNTY, FLORIDA

Parcel ID: 03-4117-005-1010

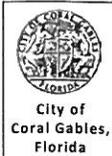
Parcel ID: 03-4117-005-1020



CPH Project Number S13346

TABLE OF CONTENTS

DRC Application	Tab 1
Statement of use	Tab 2
Aerial	Tab 3
Photographs of Property & Surrounding Uses	Tab 4
Property survey including legal description	Tab 5
Zoning Map	Tab 6
Site Plan & Supporting Information	Tab 7
Landscape, Vegetation Assessment, and Tree Retention Plan	Tab 8
Architectural/Building Elevations/Floor Plan	Tab 9
Art in Public Places Statement	Tab 10
Ordinances, resolutions, covenants, development agreements etc. previously granted for the property.	N/A
Historical Significance Letter	Tab 11
Contacts	Tab 12
Lobbyist Registration Forms	Tab 13
Warranty Deed	Tab 14
Copy of Check for Application Fee	Tab 15



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Preamble

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level Two (2) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- Permitted use new construction, additions, and alterations to buildings and/or structures (Board of Architects review only).
- Change in use or occupancy.
- Other: _____

Property information

Street address of the subject property: 2501 Galiano St., Coral Gables, FL

Property/project name: Miracle Mile SunTrust Bank

Current land use classification(s): Commercial Mid-Rise Intensity

Current zoning classification(s): Commercial District and Central Business District Overlay

Proposed land use classification(s) (if applicable): N/A

Proposed zoning classification(s) (if applicable): N/A

Last use/current use of the property/building(s): SunTrust drive-through

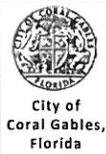
Proposed use(s) of the property/building(s): SunTrust Bank with drive-through

Size of property (square feet/acres): 22,500/0.52

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): 3,394/.15

Total number of residential units per acre and total number of units: N/A

Estimated cost of the existing/proposed building/project: \$900,000.00 (including site improvements)



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

1984 previously constructed SunTrust drive-through

Project Legal Description: Lot(s): CORAL GABLES CRAFTS SEC PB 10-40 LOTS 1 THRU 9

Block(s): 5

Section(s): _____

Listing of all folio numbers for subject property:

03-4117-005-1010

03-4117-005-1020

General information

Applicant(s)/Agent(s) Name(s): Yvonne Paguada and Jason James/CPH, Inc.

Telephone Contact No: 850-563-1490 Fax No.: 850-563-1495 Email: ypaguada@cphcorp.com

Mailing Address: 1031-C W. 23rd St., Panama City, FL 32405
(City) (State) (ZIP Code)

Property Owner(s) Name(s): SunTrust Bank

Telephone Contact No: 407-237-4430 Fax No.: _____ Email: thomas.crociata@suntrust.com

Mailing Address: 200 S. Orange Ave., Orlando, FL 32801
(City) (State) (ZIP Code)



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Property Owner(s) Name(s): _____

Telephone Contact No: _____ Fax No.: _____ Email: _____@_____

Mailing Address: _____
(City) (State) (ZIP Code)

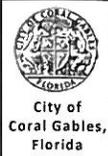
Project Architect(s) Name(s): Keith F. Silas, AIA and
Richard Flemming / Robert Reid Wedding Architects & Planners, AIA, Inc

Telephone Contact No: 813-879-6996 Fax No.: _____ Email: richard.fleming@rrw-architects.com

Mailing Address: 4112 Cypress St., Tampa, FL 33607
(City) (State) (ZIP Code)

Provide the date(s) and types of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

Previous City and/or County approvals were not found. Existing drive-through was constructed in 1984.



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agent shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary. City staff to check/confirm if all below information is provided at time of application submittal.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- Table of Contents with page numbers identifying all below documents.
- DRC Application.
- Statement of use and/or cover letter.
- Aerial.
- Photographs of property, adjacent uses and/or streetscape.
- Property survey and legal description.
- Zoning chart and supporting information.
- Site Plan.
- Landscape plan and vegetation assessment.
- Tree survey and relocation plan.
- Architectural/building elevations.
- Building floor plans.
- Art in Public Places plan and/or statement.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Historical Significance letter.
- Name and contact information for property owner, applicant, architect, attorney, etc.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Warranty Deed.
- Application fee of \$100.00 dollars in check form, payable to the City of Coral Gables. Submit copy of check.
- Other: _____

Posting of the property. The City will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.



Level

2

Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Application submittal requirements

1. Hard copies. Three (3) hard copies of the entire application shall be submitted including all the items identified in the pre-application conference. Plans and drawings shall be in 11" x 17" format.
2. Electronic copy. One (1) PDF of the entire application shall be submitted including all items provided within the hard copies. The documents provided in the electronic copy shall be the same size (11" x 17" maximum for plans and drawings) and in the same order as the hard copy submittal. The total file size shall not exceed 30 MB.

Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

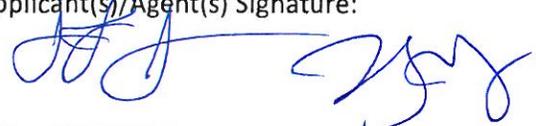
1. Submission of the following:
 - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
 - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the City in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: Yvonne Paguada and Jason James/CPH, Inc.
---	---

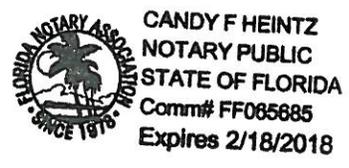
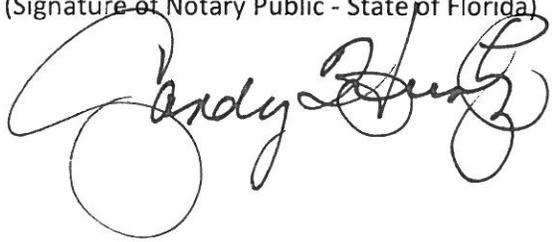
Address: 1031-C W. 23rd St., Panama City, FL 32405

Telephone: 850-563-1490	Fax: 850-563-1495
-------------------------	-------------------

Email: ypaguada@cphcorp.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF
The foregoing instrument was acknowledged before me this 7 day of JULY by YVONNE PAGUADA/
(Signature of Notary Public - State of Florida) 2016 JASON JAMES



(Print, Type or Stamp Commissioned Name of Notary Public)
 Personally Known OR Produced Identification; Type of Identification Produced _____



Level
2
Review

Development Review Committee Application

Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
 Email: planning@coralgables.com Phone: 305.460.5211

Property Owner(s) Signature: 	Property Owner(s) Print Name: SunTrust Bank, Thomas Crociata, First V.P.
---	---

Property Owner(s) Signature:	Property Owner(s) Print Name:
------------------------------	-------------------------------

Property Owner(s) Signature:	Property Owner(s) Print Name:
------------------------------	-------------------------------

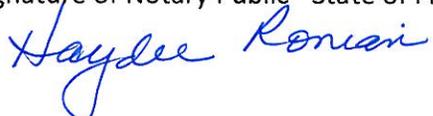
Address: 200 S. Orange Ave., Orlando, FL 32801

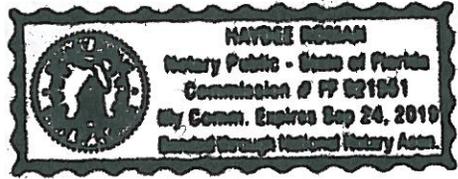
Telephone: 407-237-4430 Fax:

Email: thomas.crociata@suntrust.com

NOTARIZATION

STATE OF FLORIDA/COUNTY OF
 The foregoing instrument was acknowledged before me this 20 day of June, 2016 by Thomas Crociata
 (Signature of Notary Public - State of Florida)





(Print, Type or Stamp Commissioned Name of Notary Public)
 Personally Known OR Produced Identification; Type of Identification Produced _____



Level
2
Review

Development Review Committee Application

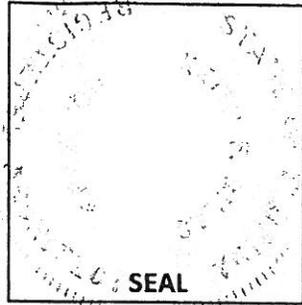
Address: 427 Biltmore Way, 2nd Floor, Coral Gables, Florida 33134
Email: planning@coralgables.com Phone: 305.460.5211

Architect(s) Signature: 	Architect(s) Print Name: Keith Silas, Senior Architect
-----------------------------	---

Address: 4112 Cypress St., Tampa, FL 33607

Telephone: 813-879-6996	Fax: 813-871-5203
-------------------------	-------------------

Email: keith.silas@rrw-architects.com



NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 7 day of July by KEITH SILAS
(Signature of Notary Public - State of Florida)



CANDY F. HEINTZ
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FF066685
Expires 2/18/2018

(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR Produced Identification; Type of Identification Produced _____



1031-C West 23rd Street
Panama City, FL 32405
Phone: 850.563.1490
Fax: 850.563.1495

July 7, 2016

Development Review committee
City of Coral Gables
427 Biltmore Way, Suite 201
Coral Gables, FL 33134

Re: Statement of Use for SunTrust Bank Located at 2501 Galiano Street, Coral Gables, FL
Development Review Committee Application.
CPH Job No. S13346

Dear DRC:

We are pleased to present this Statement of Use on behalf of SunTrust Bank (the "Owner") in connection with a Development Review Committee Application for the property located at 2501 Galiano Street, Coral Gables, Florida (the "Property"). The Property is currently developed with a SunTrust Bank drive-through only consisting of 7 drive-through lanes. At this time SunTrust seeks to demolish the existing drive-through and construct a new 3,394 S.F. SunTrust Bank branch building (single story) with drive-through (2 drive through-lanes) on their property.

The proposed bank is permitted use under the property's existing Commercial zoning designation. As part of the project, the Owner shall be providing additional parking facilities and installing abundant landscaping to beautify the Property. We believe the proposed use of the Property will be an enhancement to the existing site conditions and will complement the existing commercial uses in the area.

Should you require any question or require additional information regarding this matter, please contact me at (850) 563-1490.

Sincerely,

CPH, INC.

A handwritten signature in blue ink, appearing to read 'Yvonne Paguada', is written over a faint, light blue circular stamp or watermark.

Yvonne Paguada, P.E.
Project Manager



Aerial of SunTrust Bank Property



View of North Side of Property from the northwest property corner, including Andalusia Ave.



View of North Side of Property from the northeast property corner, including northern adjacent property and Andalusia Ave.



View of West Side of Property from the southwest property corner, including western adjacent property and Galiano St.



View of South Side of Property from the southwest property corner, including southern adjacent property



View of East Side of Property from the northeast side of property, including southern and eastern adjacent properties



View of East Side of existing drive-thru



BOUNDARY & TOPOGRAPHIC SURVEY

ALSO BEING AN (ALTA/NSPS LAND TITLE SURVEY)

FOR

SUNTRUST

AT 2501 GALIANO STREET LYING IN SECTION 17-TOWNSHIP 54 SOUTH-RANGE 41 EAST DADE COUNTY, FLORIDA



cph
www.cphcorp.com
**A Full Service
A & E Firm**
Architects
Engineers
Landscape Architects
M/E/P
Planners
Structural
Surveyors
Traffic / Transportation
Development Coordination

Offices in:
• Florida
• Puerto Rico
• Connecticut
• Maryland
• Texas

OWNERSHIP AND ENCUMBRANCE REPORT
ORDER NO. 2501 GALIANO STREET
FROM AUGUST 8, 1968 THROUGH APRIL 26, 2016

NO DOCUMENTS RECORDED

Legal Description:

LOTS 1, 2, 3 AND 4, BLOCK 5, OF CORAL GABLES, CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 10, AT PAGE 40, OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

LOTS 5, 6, 7, 8, AND 9, BLOCK 5 OF CORAL GABLES CRAFTS SECTION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 10 AT PAGE 40 OF THE PUBLIC RECORDS OF DADE COUNTY, FLORIDA.

Reference Material:

- CORAL GABLES CRAFTS SECTION AS RECORDED IN PLAT BOOK 10, PAGE 40 OF THE OFFICIAL RECORDS OF DADE COUNTY, FLORIDA.
- PAGE'S REPLAT OF A PORTION OF BLOCK 4, CORAL GABLES CRAFTS SECTION AS RECORDED IN PLAT BOOK 51, PAGE 32 OF THE OFFICIAL RECORDS OF DADE COUNTY, FLORIDA.

Abbreviation Legend:

(A) - ACTUAL	MH - MANHOLE
A/C - AIR CONDITIONER	MHP - METAL LIGHT POLE
ACSM - AMERICAN CONGRESS ON SURVEYING & MAPPING	MPH - MILES PER HOUR
ADA - AMERICANS WITH DISABILITIES ACT	MPP - METAL POWER POLE
ALTA - AMERICAN LAND TITLE ASSOCIATION	N/A - NOT APPLICABLE
APPROX - APPROXIMATE	NAVD - NORTH AMERICAN VERTICAL DATUM
ARV - AIR RELEASE VALVE	NAD - NORTH AMERICAN DATUM
AVE - AVENUE	NG - NATURAL GROUND
AVG - AVERAGE	NGS - NATIONAL GEODETIC SURVEY
BB - BEARING BASIS	NOVD - NATIONAL GEODETIC VERTICAL DATUM
BFP - BACK FLOW PREVENTER	N & D - NAIL AND DISK
BLK - BLOCK	NO - NUMBER
BLDG - BUILDING	NR - NON-RADIAL
BLVD - BOULEVARD	NSPS - NATIONAL SOCIETY OF PROFESSIONAL SURVEYORS
BM - BENCH MARK	NT - NOT TO SCALE
BOC - BACK OF CURB	NTS - NOT TO SCALE
BOW - BACK OF WALK	OD - OUTSIDE DIAMETER
BSL - BUILDING SETBACK LINE	ORB - OFFICIAL RECORDS BOOK
BWF - BARBED WIRE FENCE	OR - OFFICIAL RECORDS
C-X - DENOTES SHEET NUMBERING FOR ENGINEERING PLANS	OUL - OVERHEAD UTILITY LINES
(C) - CALCULATED	OTL - OVERHEAD TRAFFIC LINES
CHORD - CHORD	(P) - PLAT
CATV - CABLE TELEVISION RISER	PB - PLAT BOOK
CB - CHORD BEARING	PC - POINT OF CURVATURE
CCS - CONCRETE BLOCK STRUCTURE	PCC - POINT OF COMPOUND CURVATURE
C.C.R. - CERTIFIED CORNER RECORD	PCP - PERMANENT CONTROL POINT
CAG - CURB & CUTTER	PF - PERMANENT FINISHED FLOOR
C - CATCH INLET	PG - PAGES
CL - CENTERLINE	PGS - PAGES
CLF - CHAIN LINK FENCE	PI - POINT OF INTERSECTION
CM - CONCRETE MONUMENT	PIV - POST INDICATOR VALVE
CMF - CORRUGATED METAL PIPE	PK - PARKER KAYLOR
CO - CLEANOUT	POL - POINT OF BEGINNING
CONC - CONCRETE	POC - POINT OF COMMENCEMENT
CONC - CORRUGATED PLASTIC PIPE	PP - POWER POLE
CRPP - COUNTY UTILITY EASEMENT	PRC - POINT OF REVERSE CURVATURE
CUE - CROSSWALK SIGNAL	PRM - PERMANENT REFERENCE MONUMENT
CWS - CURB	PS - PROFESSIONAL SURVEYOR & MAPPER
Δ - DELTA	PT - POINT OF TANGENCY
(D) - DESCRIPTION	PVC - POLYVINYL CHLORIDE PIPE
DEED BOOK - DIAMETER AT BREAST HEIGHT IN INCHES	PVM - PAVEMENT
DE - DRAINAGE EASEMENT	R4E - RANGE 41 EAST
DEPT - DEPARTMENT	R - RADIUS
DE - DUCTILE IRON PIPE	RAD - RADIAL
DR - DRIVE	REC - REINFORCED CONCRETE PIPE
D/J - DRAINAGE AND UTILITY EASEMENT	REC - RECOVERED
ENG - ENGINEERING PLAN	REV - REVISION
E.B. - ELECTRIC JUNCTION BOX	RP - RADIUS POINT
EL - UNDERGROUND ELECTRICAL LINES	R/W - RIGHT-OF-WAY
ELEC - ELECTRIC	RLS - REGISTERED LAND SURVEYOR
ELEV - ELEVATION	RP - RADIUS POINT
ELLIP - ELLIPTICAL	RWL - UNDERGROUND RECLAIM WATER LINE
END OF INFORMATION	RWM - RECLAIMED WATER METER
EQ - EDGE OF PAVEMENT	SE - SPECIAL EASEMENT
EP - FIELD BOOK	SEC 17 - SECTION 17
FL - FLORIDA DEPARTMENT OF TRANSPORTATION	SMH - SANITARY SEWER MANHOLE
FF - FINISH FLOOR	(SP) - STATE PLANE
FGI - FLAT GRATE INLET	SQ - SQUARE FEET
FGH - FIBERGLASS LIGHT POLE	SO FT - STREET
FHYD - FIRE HYDRANT	STMH - STORM DRAINAGE MANHOLE
FM - FORCE MAIN	S/W - SIDEWALK
FND - FOUND	TB - TANGENT BEARING
FP&L - FLORIDA POWER AND LIGHT	T54S - TOWNSHIP 54 SOUTH
FR - FLORIDA STATUTES	TELE - TELEPHONE
(G) - GRID (STATE PLANE)	TEL - TELEPHONE
GA - UNDERGROUND GAS LINES	TOB - OVERHEAD TRAFFIC SIGNAL LINES
GOV'T - GOVERNMENT	TOE - TOP OF BANK
GPR - GROUND PENETRATING RADAR	TOE - TOP OF SLOPE
GTWH - GREASE TRAP MANHOLE	TR - TRAFFIC RISER
HOPE - HIGH DENSITY POLYETHYLENE PIPE	TRANS - TRANSFORMER
HWF - HOG WIRE FENCE	TSSP - TRAFFIC SIGNAL BOX
IDENTIFICATION	TSSP - TRAFFIC SIGNAL SUPPORT POLE
IR - IRRIGATION	TVL - UNDERGROUND CABLE TV LINES
ICV - IRRIGATION CONTROL VALVE	(TYP) - TYPICAL
INFO - INFORMATION	UE - UTILITY EASEMENT
INVT - INVERT	UNK - UNKNOWN
IP - IRON PIPE	UTL - UNDERGROUND TELEPHONE LINES
IP&C - IRON PIPE & CAP	W - WITH
IR - IRON ROD	WLP - UNDERGROUND WATER LINE
IP&C - IRON REBAR & CAP	WM - WOOD LIGHT POLE
IRR - IRRIGATION	WM - WATER METER
IR - ARC LENGTH	WP - WORK PROGRAM
LB# - LICENSED BUSINESS NUMBER	WPF - WOOD POST FENCE
LP - LIGHT POLE	WPP - WOOD POWER POLE
(M) - MEASURED	WV - WATER VALVE
MB - MAP BOOK	
MB - MAILBOX	
MES - MITERED END SECTION	

Survey Notes:

- COPIES OF THIS SURVEY ARE NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
- "ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES."
- THE SITE BENCHMARKS FOR THIS TOPOGRAPHIC SURVEY ARE DISPLAYED ON THE RESPECTIVE SURVEY FILE. THESE BENCHMARKS ARE BASED ON A CLOSED VERTICAL CONTROL LOOP HAVING AN ACTUAL ERROR OF CLOSURE OF 0.022' WHICH MEETS THE ALLOWABLE CLOSURE OF 0.033'. THIS FIELDWORK WAS PERFORMED USING A TOPCON LEVEL MODEL # AT-04, AND REFERENCES THE FOLLOWING PUBLISHED BENCHMARKS AS ESTABLISHED BY THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD '88) AND SAID ELEVATIONS ARE BASED ON VERTICAL CONTROL BENCHMARK SUPPLIED BY PROJECT NETWORK CONTROL PREPARED BY STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION AS FOLLOWS:

o) DESIGNATION # 2N002
ELEVATION = 9.01 FEET (NAVD '88)

SITE BENCHMARKS ARE AS SHOWN ON SHEET 3 OF 3.
- THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 3 OF 3.
- THE LAST DAY FIELD WORK WAS PERFORMED WAS (DATE); ALL BOUNDARY CORNERS WERE RECOVERED OR SET AS NOTED HEREON.
- THE "LEGAL DESCRIPTION" HEREON IS IN ACCORD WITH THE INSTRUMENT OF RECORD, AND WAS PROVIDED BY THE CLIENT.
- BEARINGS SHOWN HEREON ARE RELATIVE TO _____.
- HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 12063B-0457-L, CITY OF CORAL GABLES, FLORIDA REVISED DATE SEPTEMBER 11, 2009, THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE S, WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (NGVD '29). THIS DETERMINATION WAS BASED ON A GRAPHIC INTERPOLATION OF SAID MAP AND NOT ON ACTUAL FIELD MEASUREMENTS.
- THE APPARENT USE OF THE LAND, AS CLASSIFIED BY THE STANDARDS OF PRACTICE SET FORTH IN RULE CHAPTER 5J-17 OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO FS 472.027, ESTABLISHES THAT THE MINIMUM RELATIVE ACCURACY FOR THIS TYPE OF BOUNDARY SURVEY MEET THE HORIZONTAL CONTROL ACCURACY OF 1"/10,000 FEET FOR A HIGH RISK SURVEY. THE MEASUREMENTS AND CALCULATIONS OF THE CLOSED GEOMETRIC FIGURES WERE FOUND TO MEET THIS ACCURACY REQUIREMENT. THE EQUIPMENT USED TO VERIFY THE HORIZONTAL CONTROL ON THE SUBJECT SURVEY WAS A TOPCON GPS HIPER II.
- HORIZONTAL WELL-IDENTIFIED FEATURES IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED HORIZONTAL POSITIONAL ACCURACY OF 0.05 (FT). THE EQUIPMENT USED TO LOCATE THE FEATURES WAS A TOPCON PS-103A ROBOTIC TOTAL STATION AND TOPCON GPS HIPER II.
- UNLESS OTHERWISE NOTED, ALL RECORD INFORMATION SHOWN HEREON IS BASED ON INFORMATION CONTAINED IN THE OWNERSHIP AND ENCUMBRANCE REPORT BY BLACK KNIGHT FINANCIAL SERVICES, ORDER NO. 2501 GALIANO STREET, EFFECTIVE DATE FROM AUGUST 8, 1968 THROUGH APRIL 26, 2016, AND WAS PROVIDED BY THE CLIENT.
- NO UNDERGROUND UTILITIES, FOUNDATIONS OR IMPROVEMENTS, IF ANY, HAVE BEEN LOCATED EXCEPT AS SHOWN.
- THIS SURVEY DOES NOT IDENTIFY THE LIMITS OR EXTENT OF POTENTIAL JURISDICTIONAL WETLAND BOUNDARIES.
- FENCES EXISTING ON, OVER OR ADJACENT TO SUBJECT PROPERTY, ARE DISPLAYED HEREON; OWNERSHIP WHETHER SINGULAR OR JOINT WAS NOT DETERMINED BY THIS SURVEY.
- VERTICAL FEATURE ACCURACY: "ELEVATIONS OF WELL-IDENTIFIED FEATURES CONTAINED IN THIS SURVEY AND MAP HAVE BEEN MEASURED TO AN ESTIMATED VERTICAL POSITIONAL ACCURACY OF 0.03 (FT)."
- DIMENSIONS ARE SHOWN RELATIVE TO UNITED STATES STANDARD FEET AND DECIMALS THEREOF, UNLESS THE OBJECT SHOWN IS COMMONLY IDENTIFIED IN INCHES, I.E. TREE DIAMETER, PIPE DIAMETER, ETC. TREES DEPICTED ARE COMMON NAMES AND MEASURED AND LABELED AS DIAMETER AT BREAST HEIGHT IN INCHES.
- CERTAIN INSTRUMENTS OF RECORD REFLECTING EASEMENTS, RIGHTS-OF-WAY, AND/OR OWNERSHIP WERE FURNISHED TO THIS SURVEYOR AS NOTED OR DISPLAYED HEREON.
- THE UNDERGROUND UTILITIES DEPICTED BY PIPE LINETYPES ARE APPROXIMATE IN NATURE BASED UPON AN INSPECTION OF THE MANHOLE, GRATE, ETC. OF EACH FACILITY. EXISTING PIPES WERE NOT LAMPED OR REMOTELY VIEWED FOR DIRECTION, OBSTRUCTIONS OR CONNECTIVITY.

Index of Sheets

- ALTA/NSPS LAND TITLE SURVEY (COVER SHEET)
- ALTA/NSPS LAND TITLE SURVEY (BOUNDARY SURVEY)
- ALTA/NSPS LAND TITLE SURVEY (TOPOGRAPHIC SURVEY)

Surveyor's Certification:

Certified to: SUNTRUST, INC

This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1-5, 8(a), 9, 11(b), 13 and 14 of Table A thereof. The field work was completed on XXXX XX, 20XX.

I hereby certify that the attached "ALTA/NSPS Land Title Survey" of the hereon-described property is true and correct to the best of my knowledge, information and belief as surveyed in the field on XXXX XX, 20XX. I further certify that this "Boundary & Topographic Survey" meets the standards of practice set forth in Rule Chapter 5J-17 of the Florida Administrative Code, pursuant to FS 472.027.

Parking Table

STANDARD SPACES =	8
ACCESSIBLE HANDICAP SPACES =	0
TOTAL SPACES =	8

NOTE:
THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 3 OF 3.

TITLE BLOCK ABBREVIATIONS
Eng = ENGINEERING L.R. = LICENSED BUSINESS
C.O.A. = CERTIFICATE OF AUTHORIZATION Arch = ARCHITECTURAL
Landscape = LANDSCAPE N/A = NOT APPLICABLE Lic = LICENSED
No. = NUMBER P.O. = POST OFFICE © = COPYRIGHT

For the Firm By: _____
Thomas J. Galloway, PSM
Professional Surveyor and Mapper
Florida Registration No. 6549

Line Legend:
NOT TO SCALE

--- 1' ---	= 1 FOOT CONTOURS
--- 5' ---	= 5 FOOT CONTOURS
---	= ADJOINING PROPERTY LINES
---	= BARBED WIRE FENCE
---	= BROKEN LINE
---	= BURIED CABLE
---	= BURIED CABLE TELEVISION
---	= BURIED ELECTRIC
---	= BURIED FIBER OPTICS
---	= BURIED GAS
---	= BURIED RECLAIMED WATER LINE
---	= BURIED SANITARY LINES
---	= BURIED SANITARY SEWER FORCE MAIN LINE
---	= BURIED TRAFFIC CONTROL
---	= BURIED TELEPHONE LINE
---	= BURIED WATER LINES
---	= CENTER LINE R/W
---	= CHAIN LINK FENCE
---	= NO DUMPING SIGN
---	= NO LEFT TURN SIGN (R3-2)
---	= NO LITTERING SIGN
---	= NO OUTLET SIGN
---	= NO PARKING FIRE LANE SIGN
---	= NO RIGHT TURN SIGN (R3-1)
---	= NO THRU TRAFFIC SIGN
---	= NO TRUCKS (R5-2)
---	= NO PARKING SIGN
---	= ONE WAY SIGN (R6-2)
---	= PEDESTRIAN CROSSING SIGN
---	= RIGHT TURN ONLY
---	= SPEED LIMIT SIGN
---	= STOP SIGN (R1-1)
---	= STREET SIGN
---	= TOW AWAY ZONE SIGN
---	= TRUCK ENTRANCE SIGN
---	= WEIGHT LIMIT SIGN
---	= WRONG WAY SIGN
---	= YIELD SIGN

Sign Legend:
NOT TO SCALE

(R1) ---	= ROW NUMBER SIGN
(B) ---	= BUS STOP SIGN
(DE) ---	= DEAD END SIGN
(DNE) ---	= DO NOT ENTER SIGN (R5-1)
(HC) ---	= HANDICAP SIGN
(HC) ---	= DUAL HANDICAP SIGN
(INFO) ---	= INFORMATION SIGN
(KR) ---	= KEEP RIGHT SIGN
(LTO) ---	= LEFT TURN ONLY
(ME) ---	= MEDIAN SIGN
(ND) ---	= NO DUMPING SIGN
(NL) ---	= NO LEFT TURN SIGN (R3-2)
(NL) ---	= NO LITTERING SIGN
(NO) ---	= NO OUTLET SIGN
(FL) ---	= NO PARKING FIRE LANE SIGN
(NOR) ---	= NO RIGHT TURN SIGN (R3-1)
(NTT) ---	= NO THRU TRAFFIC SIGN
(NOT) ---	= NO TRUCKS (R5-2)
(NP) ---	= NO PARKING SIGN
(1W) ---	= ONE WAY SIGN (R6-2)
(PC) ---	= PEDESTRIAN CROSSING SIGN
(RTO) ---	= RIGHT TURN ONLY
(SL) ---	= SPEED LIMIT SIGN
(ST) ---	= STOP SIGN (R1-1)
(SS) ---	= STREET SIGN
(TZ) ---	= TOW AWAY ZONE SIGN
(TE) ---	= TRUCK ENTRANCE SIGN
(WL) ---	= WEIGHT LIMIT SIGN
(WW) ---	= WRONG WAY SIGN
(Y) ---	= YIELD SIGN

Symbol Legend:
NOT TO SCALE

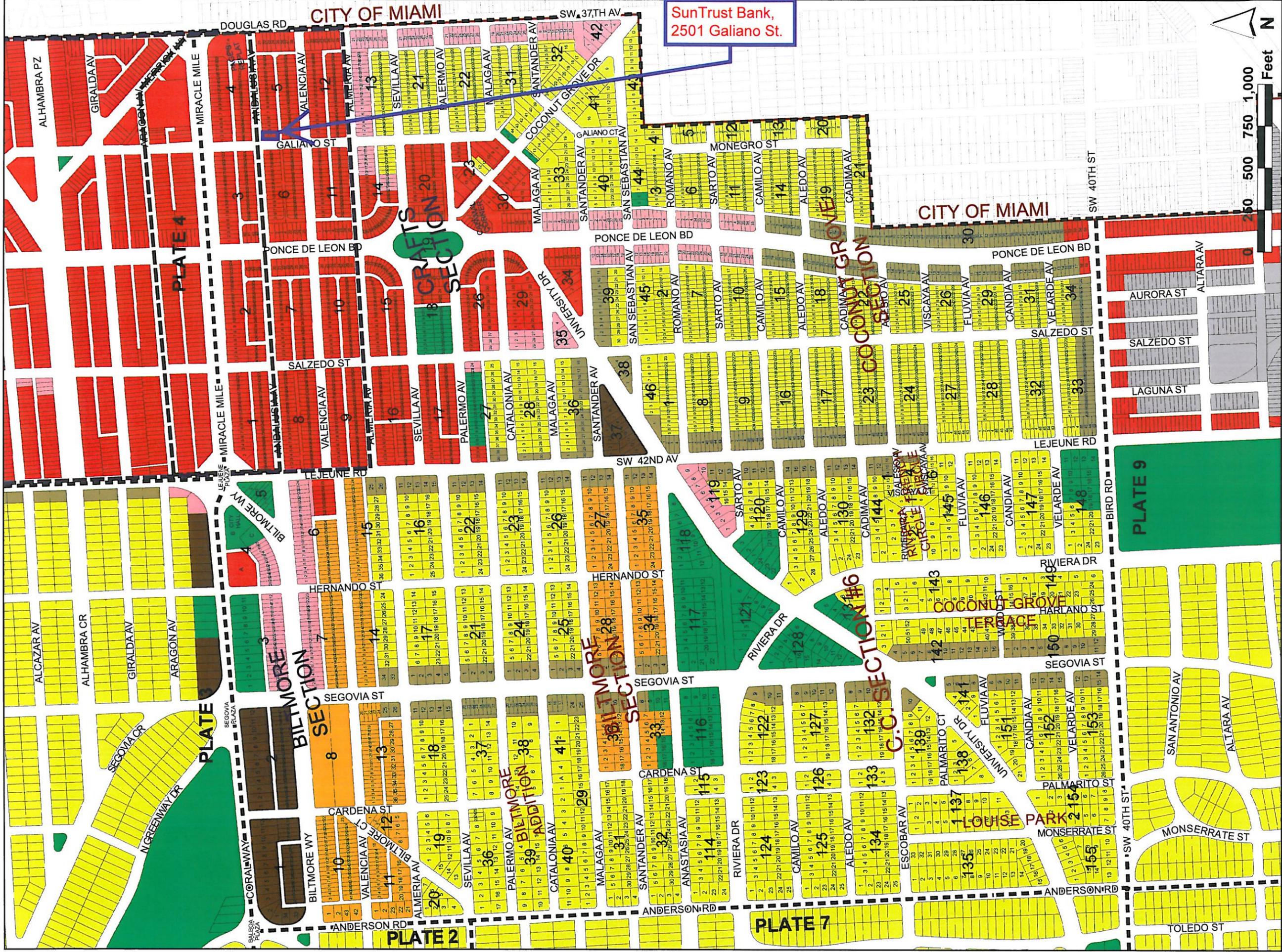
APV	= AIR RELEASE VALVE
BH	= BORING HOLE LOCATION
BP	= BRICK PAVERS
CR	= CABLE TV RISER
CA	= CENTRAL ANGLE
CONC	= CONCRETE
CONC	= CLEAN OUT
CONC	= CONCRETE MITERED END SECTION
CONC	= CONCRETE UTILITY POLE
CONC	= COUNTY ROAD SYMBOL
CONC	= FOUND SUPPORT SIGN
CONC	= ELECTRICAL MANHOLE
CONC	= ELECTRICAL JUNCTION BOX
CONC	= ELECTRIC OUTLET
CONC	= ELECTRIC RISER
CONC	= FIRE HYDRANT
CONC	= FLOOD LIGHT
CONC	= FOUND CONCRETE MONUMENT (AS NOTED)
CONC	= FOUND IRON PIPE (AS NOTED)
CONC	= FOUND IRON REBAR (AS NOTED)
CONC	= EDGE OF WATER LINES
CONC	= EXISTING DRAINAGE PIPES
CONC	= EXISTING DRAINAGE PIPES (OUTFALL NOT LOCATED)
CONC	= FIRE WATER MAIN LINES
CONC	= HOT WATER SUPPLY LINES
CONC	= IRRIGATION LINES
CONC	= OVERHEAD TRAFFIC LINES
CONC	= OVERHEAD UTILITY LINES
CONC	= RAILROAD TRACKS
CONC	= RIGHT-OF-WAY LINES
CONC	= SECTION LINES
CONC	= STONE WALL LINES
CONC	= TOP OF BANK LINES
CONC	= TOE OF SLOPE LINES
CONC	= TREE LINES
CONC	= TRAVERSE LINES
CONC	= UNKNOWN BURIED LINES
CONC	= UNKNOWN BURIED LINES
CONC	= MONITOR WELLS
CONC	= VINYL FENCE
CONC	= WOOD FENCE
CONC	= WETLAND LINE
CONC	= PULL BOX (AS NOTED)

BOUNDARY & TOPOGRAPHIC SURVEY
ALSO BEING AN
(ALTA/NSPS LAND TITLE SURVEY)

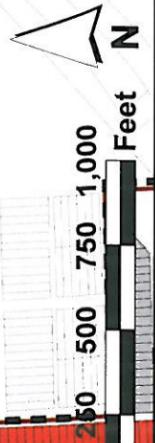
SUNTRUST
2501 GALIANO STREET
SECTION 17-TOWNSHIP 54 SOUTH-RANGE 41 EAST
DADE COUNTY, FLORIDA

Sheet No.
1
of 3

By	
Revision	
Date	
No.	
File:	513346.dwg
Scale:	AS SHOWN
Checked by:	T.J.G.
Drawn by:	E.H./J.L.



SunTrust Bank,
2501 Galiano St.



Zoning Map

- Zoning Districts**
- (SFR) Single-Family Residential District
 - (MF1) Multi-Family 1 Duplex District
 - (MF2) Multi-Family 2 District
 - (MFSA) Multi-Family Special Area District
 - (UCD) University Campus District
 - (S) Special Use District
 - (P) Preservation District
 - (CL) Commercial Limited District
 - (C) Commercial District
 - (I) Industrial District

- (DO) Downtown Overlay District
- (CBD) Central Business District

Plate 6 of 18

City of Coral Gables
Planning & Zoning Division
July 2013

GENERAL PROVISIONS

- 1. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF MIAMI PLANNING DEPARTMENT'S PERMITS AND LOCAL AGENCY PERMITS.
3. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.

UTILITY GENERAL NOTES

- 1. THE UTILITY DATA SHOWN ON THESE PLANS WAS OBTAINED BY THE RESPECTIVE UTILITY OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE.
2. THE LOCATION, MATERIAL, TYPE, AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN DETERMINED BY THE BEST AVAILABLE DATA AND ARE SHOWN FOR THE CONVENIENCE OF THE CONTRACTOR.
3. THE CONTRACTOR SHALL VERIFY THE LOCATION, MATERIAL, TYPE, AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS BY FIELD SURVEY PRIOR TO CONSTRUCTION.

AS-BUILT DRAWING REQUIREMENTS

- 1. AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER AT LEAST THREE WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
2. ALL RECORD DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR IN ACCORDANCE WITH THE CITY OF MIAMI PLANNING DEPARTMENT'S PERMITS AND LOCAL AGENCY PERMITS.
3. THE CONTRACTOR SHALL PROVIDE AS-BUILT INFORMATION TO THE ENGINEER AT LEAST THREE WEEKS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

TRAFFIC CONTROL

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC PLAN (MOT) PRIOR TO CONSTRUCTION.
2. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.
3. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.

SITE PREPARATION

- 1. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY BOUNDARIES AND EASEMENTS AS INDICATED ON THE DRAWINGS.
2. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.

DEMOLITION

- 1. DESIGN AND PROVIDE A DEMOLITION SYSTEM USING ACCEPTED AND PROVEN METHODS CONSISTENT WITH CURRENT INDUSTRY PRACTICE.
2. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.

EXCAVATION, TRENCHING, AND FILL

- 1. THE CONTRACTOR SHALL RECOGNIZE AND AVOID ALL CITY EXCAVATION SAFETY STANDARDS, INCLUDING THE CITY OF MIAMI SAFETY ACT.
2. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.

- C. THE OUTSIDE OF WATER MAINS SHALL BE A MINIMUM OF THREE FEET FROM ALL PARTS OF ANY EXISTING OR PROPOSED DRIVE SERVICE TREATMENT AND DISPOSAL SYSTEM SUCH AS SEPTIC TANKS, DRAINAGE, AND GREASE TRAPS.
1. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.

WATER AND RECLAIMED WATER DISTRIBUTION SYSTEMS

- 1. THE ENTITY THAT WILL OPERATE AND MAINTAIN THE WATER AND RECLAIMED WATER SYSTEMS SHOWN ON THESE PLANS IS THE BARABOO COUNTY WATER AND SEWER DEPARTMENT (BWS).
2. ALL WATER AND RECLAIMED MAIN PIPE SHALL BE EITHER DUCTILE IRON OR PVC UNLESS OTHERWISE NOTATED ON THE DRAWINGS.

- 26. INSTALL WARNING TAPE ALONG ALL PIPELINES PLACED 3 FEET ABOVE PPE. TAPE SHALL BE BROWN W/WHY CONTAINS THE WORDS "CAUTION: WATER MAINS BELOW".
27. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.

PIPE PROTECTION SYSTEMS

- 1. COMMENSAL CONSTRUCTION CANNOT OCCUR UNTIL PROPER DOCUMENTATION HAS BEEN SUBMITTED TO THE LOCAL PERMITS DEPARTMENT.
2. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.

- 13. PROVIDE LIGHT SOURCE AND WARNING FOR LAMPING OF SEWER. ANY SIGN IN WHICH THE DIRECT LIGHT OF A LAMP CAN BE SEEN FROM THE ROADWAY SHALL BE PLACED BETWEEN ANGLE MARKERS SHALL BE CONSIDERED UNLAWFUL.
14. CONDUCT LOW PRESSURE AIR TESTING (LPA) INITIAL PRESURE OF INSTALLED SEWER PIPE IN ACCORDANCE WITH ASTM F1177.
15. CONDUCT DEFLECTION TESTING OF PIPELINE AFTER THE FINAL BACKFILL HAS BEEN IN PLACE AT LEAST 30 DAYS.

PRECAST STRUCTURES AND APPURTENANCES

- 1. ALL MANHOLE SHALL BE PRECAST CONSTRUCTION. THE MINIMUM SIZE DIAMETER OF MANHOLES SHALL BE 48" FOR SEWER LINES 24" IN DIAMETER OR LESS.
2. BASE SHALL BE CONCRETE PRECAST BASE SECTIONS CONSISTING OF PROPERLY CAST SLAB, BOTTOM BOWL SECTION AND CONCRETE FLOW CHANNEL. BASE SECTIONS SHALL HAVE INTEGRAL REINFORCING WITH GAGGERS TO MATCH THE PIPE.
3. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.

Cph logo and contact information for Cph Corp. A Full Service A & E Firm. Architects, Engineers, Planners, Structural Surveyors, Traffic / Transportation Development Coordination. Office in: Florida, Puerto Rico, Connecticut, Maryland, Texas.

SUNTRUST logo and contact information for SunTrust Bank. 2501 GALIANO STREET MIAMI-DADE COUNTY / FLORIDA. Sheet No. G-2. Includes a table for revision tracking with columns for Design, Drawn, Checked, Approved, and Date.



www.cphcorp.com

A Full Service A & E Firm

Architects
Engineers
Landscape Architects
M/E/P
Planners
Structural
Surveyors

Traffic / Transportation
Development Coordination

Offices in:
• Florida
• Puerto Rico
• Connecticut
• Maryland
• Texas

YVONNE PAGUADA, P.E.
REG # 87437

By

Revision

Date

Designed by: JWS
Drawn by: JWS
Checked by: JLT
Approved by: YEP
Scale: AS SHOWN
Date: 06/28/16
Job No.: S13346
© 2016

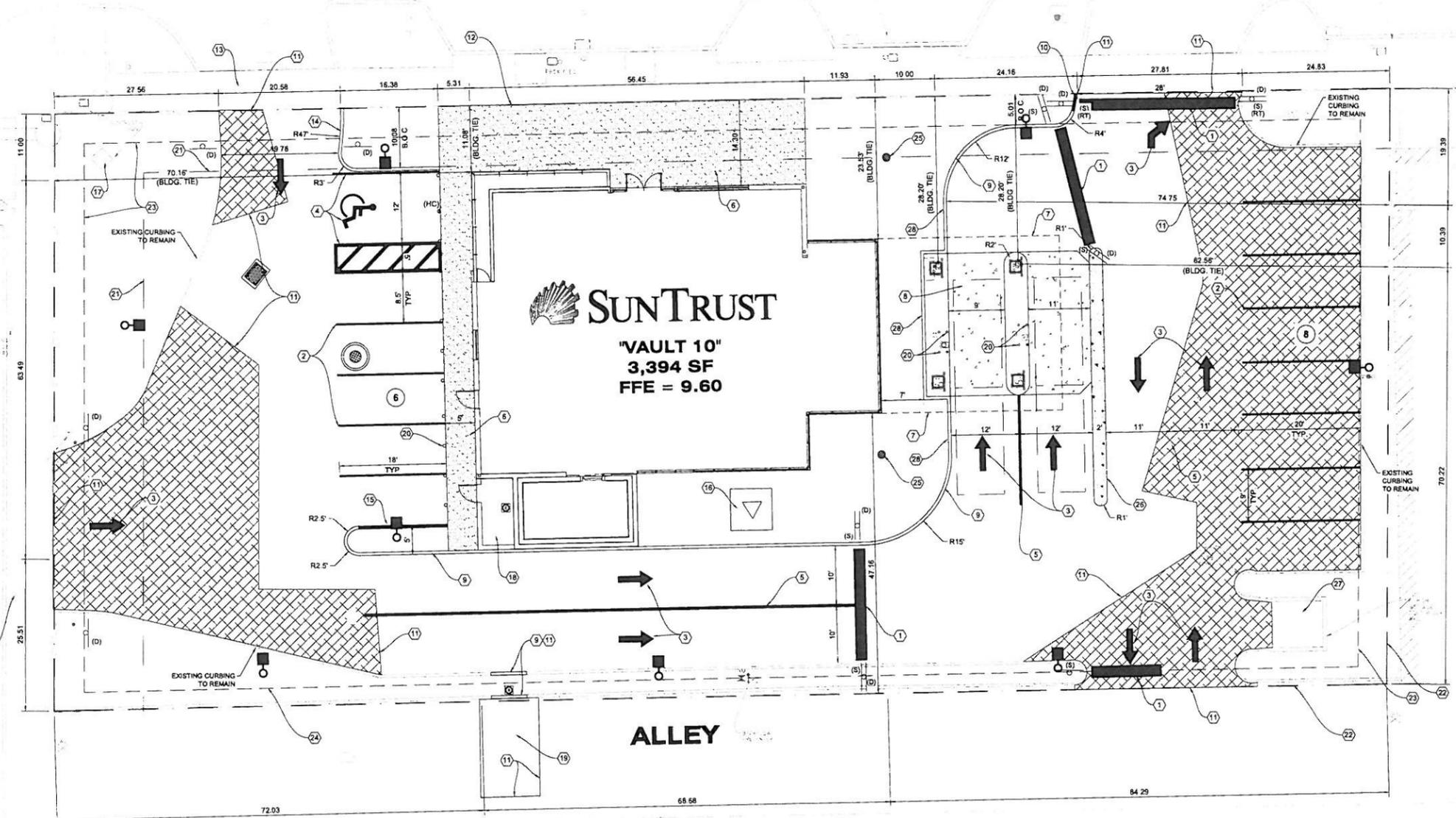
Plans Prepared By:
CPh, Inc.
1031-C.W. 22nd St.
Panama City, FL 32405
Ph: 850.563.1400
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA2800924
Landscape Lic. No. LC990228

SUNTRUST
2501 GALIANO STREET
MIAMI-DADE COUNTY, FLORIDA

Sheet No.
C-5

ANDALUSIA AVENUE (ONE WAY)

GALIANO STREET



PROPOSED SITE LEGEND

- 24" WIDE WHITE STOP BAR PER FDOT INDEX NO. 17346 (TYP)
- 4" WIDE SINGLE WHITE PAVEMENT PARKING STRIPE (TYP)
- WHITE REFLECTIVE DIRECTIONAL ARROWS ON PAVEMENT PER FDOT INDEX NO. 17346 (TYP)
- PROPOSED ACCESSIBLE STRIPING, SEE DETAIL SHEET C-4. CONTRACTOR TO ENSURE 2% MAX. SLOPE IN ALL DIRECTIONS.
- 5" WIDE SINGLE WHITE LANE STRIPE ON PAVEMENT
- CONCRETE SIDEWALK (MAXIMUM 2% CROSS SLOPE AND 5% LONGITUDINAL SLOPE), SEE SHEET C-8 FOR DETAIL.
- BUILDING CANOPY OVERHANG.
- CONCRETE DRIVE-THRU PAVEMENT, REFER TO ARCHITECT PLANS
- 6" VERTICAL CURB, SEE SHEET C-8 FOR DETAIL.
- PROPOSED NOSE DOWN CURB, SEE SHEET C-8 FOR DETAIL.
- NEATLY SAW CUT AND CONSTRUCT SMOOTH TRANSITION TO EXISTING CURB AND/OR PAVEMENT. ALSO SEE SHEET D-1 FOR DEMOLITION.
- CONNECT PROPOSED SIDEWALK TO EXISTING SIDEWALK
- EXISTING SIDEWALK TO REMAIN
- PROPOSED RIBBON CURB, SEE SHEET C-8 FOR DETAIL.
- PROPOSED TRANSITION CURB.
- PROPOSED TRANSFORMER CONCRETE PAD (7' X 7')
- EXISTING MONUMENT SIGN.
- SCREENED HVAC AND COMMERCIAL GARBAGE ENCLOSURE. REFER TO ARCHITECTURAL PLANS.
- PROPOSED ASPHALT PAVEMENT TO INSTALL SANITARY SEWER SYSTEM
- PROPOSED BOLLARDS. REFER TO ARCHITECTURAL PLANS FOR DETAIL.
- PROPOSED 15 FT. MINIMUM BUILDING SETBACK (FRONT & SIDE STREET)
- PROPOSED 9 FT. MINIMUM BUILDING SETBACK (INTERIOR SIDE & REAR ALLEY)
- PROPOSED 5 FT. MINIMUM LANDSCAPE SETBACK
- PROPOSED 3 FT. MINIMUM LANDSCAPE SETBACK (ALLEY)
- NYLOPLAST YARD DRAIN WITH DOMED GRATE COVER, SEE SHEET C-6
- TRAFFIC SEPARATOR, PER FDOT INDEX 302.
- EXISTING TRASH DUMPSTER, TO REMAIN. EXISTING ENCLOSURE SHALL BE PAINTED TO MATCH NEW BUILDING.
- BACK OF CURB REVEALED. REFER SHEET C-4, SITE GRADING PLAN.

PARKING INFORMATION

TOTAL SPACES REQUIRED	14	PARKING REQUIRED	1 SPACE PER 250 S.F. OF FLOOR SPACE
TOTAL SPACES PROVIDED	14	12 PROPOSED SPACES: 9' X 18' STANDARD @ 90°	1 PROPOSED SPACES: 12' X 18' ACCESSIBLE @ 90°

SITE DATA

STATEMENT OF INTENT
THE OWNER PROPOSES TO REMOVE THE EXISTING DRIVE-THRU AND CONSTRUCT A NEW 3,394 S.F. SUNTRUST AND THE REQUIRED SITE SUPPORT ELEMENTS TO SERVE IT

SITE ADDRESS: 2501 GALIANO STREET, CORAL GABLES, FL 33134

PARCEL I.D. NUMBER: 03-4117-005-1010 & 03-4117-005-1020

SITE TOTAL AREA: 22,600 S.F. (0.52 AC ±)

EXISTING USE: FINANCIAL INSTITUTION

PROPOSED USE: FINANCIAL INSTITUTION

MAX. BUILDING HEIGHT: ALLOWED 45' MAX PROVIDED 20'

TOTAL BUILDING AREA: 3,394 S.F.

PROPOSED AREA CALCULATIONS

	EXISTING	PROPOSED
BUILDING AREA	418 S.F. (1.9%)	3,394 S.F. (15.1%)
PERVIOUS AREA	4,882 S.F. (21.6%)	4,824 S.F. (21.4%)
IMPERVIOUS AREA	17,402 S.F. (77.3%)	14,282 S.F. (63.3%)
	22,500 S.F. (100.0%)	22,500 S.F. (100.0%)

REQUIRED PERVIOUS AREA: 10.0%

BUILDING SETBACKS

DIRECTION	REQUIRED	PROVIDED
NORTH	10'	11.08'
WEST	15'	11.01'
EAST	0'	86.80'
SOUTH	0'	25.50'

LANDSCAPE SETBACKS

DIRECTION	REQUIRED	PROVIDED
NORTH	5'	5.00'
WEST	5'	5.00'
EAST	5'	4.50'
SOUTH	7' (ALLEY)	5.37'

FLOOR AREA RATIO: 15.1%

ZONING: COMMERCIAL DISTRICT

FLOOD ZONE
HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 120020-0430-G REVISED DATE MARCH 17, 2014, THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN AND LIES IN ZONE X (SHADED) WITH AREAS OF 0.2% CHANCE FLOOD, AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY ELEVATIONS FROM 1% ANNUAL CHANCE FLOOD AND ALSO LIES IN ZONE AE, WHICH ARE SPECIAL FLOOD HAZARD AREAS INUNDATED BY 100 YEAR FLOOD WITH BASE FLOOD ELEVATIONS DEPICTED AS 1.7 FEET NAVD. THIS DETERMINATION WAS BASED ON GEOSPATIAL DATA DOWNLOADED FROM WWW.FEMA.GOV THIS DETERMINATION WAS BASED ON A GRAPHIC INTERPOLATION OF SAID MAP AND NOT ON ACTUAL FIELD MEASUREMENTS

BEFORE YOU DIG!
CALL SUNSHINE STATE ONE CALL OF FLORIDA
AT LEAST TWO FULL BUSINESS DAYS BEFORE
DIGGING OR DISTURBING EARTH!

Sunshine State One Call
www.sunshineonecall.com
Know what's below. Call before you dig.

GENERAL NOTES

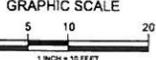
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK.
- FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 8" BELOW TOP OF ALL WALKS AND CURBS, UNLESS OTHERWISE NOTED ON SITE GRADING DESIGN. FINISH GRADING, LANDSCAPING AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
- LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
- DIMENSIONS SHOWN ARE TO THE FACE OF CURB UNLESS SHOWN (BOC) WHICH INDICATES BACK OF CURB.
- ALL CURBED RADI ARE TO BE 10' AND 7' UNLESS OTHERWISE NOTED.
- ALL SIGNS SHALL HAVE A 70" MIN. CLEARANCE FROM FINISH GRADE TO BOTTOM OF LOWEST SIGN MOUNTED ON POST.
- ALL STRIPING SHALL BE IN CONFORMANCE WITH LOCAL AGENCY REQUIREMENTS.
- ADJUST ALL MANHOLE RINGS AND CLEAN OUT COVERS TO BE FLUSH WITH FINISHED GRADE. ALL PARTS TO BE TRAFFIC BEARING (ASHTO H-20 LOADING).
- ENSURE ACCESSIBILITY STICKERS ARE PLACED ON ALL APPLICABLE DOORS.
- TRANSITIONS TO BE FLUSH ALL ALONG THE ACCESSIBLE ROUTE. CONTRACTOR SHALL ENSURE THE MAXIMUM CONSTRUCTED LEVEL TRANSITION AT EVERY JOINT DOES NOT EXCEED THE MAXIMUM ALLOWABLE UNDER THE ADA AFTER SETTLEMENT, EXPANSION, CONTRACTION, ETC. CHANGES IN LEVEL OF 1/4" HIGH MAXIMUM SHALL BE PERMITTED TO BE VERTICAL. CHANGES IN LEVEL BETWEEN 1/4" HIGH MINIMUM AND 1/2" HIGH MAXIMUM SHALL BE BEVELED WITH A SLOPE, NOT STEEPER THAN 1:2.
- FILL EXPANSION / CONTROL JOINT WITH EXTERIOR GRADE CONCRETE EXPANSION JOINT CAULKING FULL ENTIRE LENGTH OF JOINT SUCH THAT ANY CHANGE IN ELEVATION DOES NOT EXCEED 1/4" IN ELEVATION FROM THE ADJACENT CONCRETE SURFACES WHEN CAULKING HAS CURED. FOR JOINTS WITH VOIDS DEEPER THAN 1/2", INSTALL CONTINUOUS FIBERBOARD EXPANSION JOINT FILLER BELOW CAULKING TO SUPPORT CAULKING ABOVE.
- REFER TO SHEET C-2 FOR ADDITIONAL NOTES.

PROPOSED PAVEMENT LEGEND

- PROPOSED LIGHT DUTY ASPHALT PAVEMENT
- PROPOSED MILLED/RESURFACED ASPHALT PAVEMENT
- PROPOSED LIGHT DUTY CONCRETE
- EXISTING PAVEMENT

PROPOSED SITE SYMBOLS LEGEND

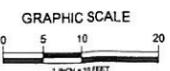
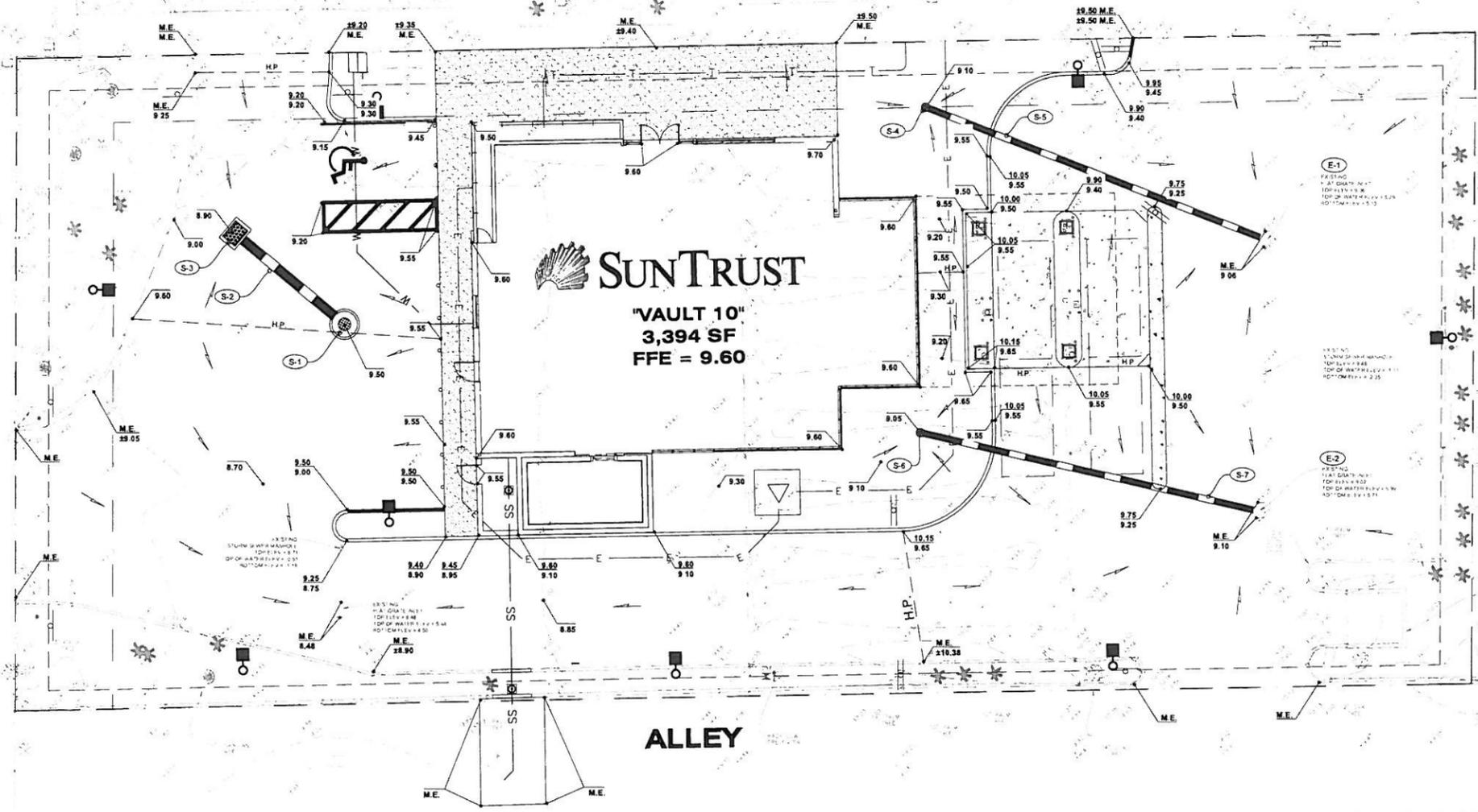
- STOP SIGN (R1-1)
- ACCESSIBLE PARKING SPACE W/ ACCESSIBLE PARKING SIGN
- DO NOT ENTER SIGN (R5-1)
- RIGHT TURN ONLY (R3-SR)
- PROPOSED PARKING SPACES COUNT
- PROPOSED SITE LIGHTING & POST REFER TO SHEET PS-1 FOR DETAIL



ANDALUSIA AVENUE
(ONE WAY) →

GALIANO STREET

ALLEY



LEGEND

- T.W. XXX PROPOSED TOP OF CURB ELEV
- F.G. XXX PROPOSED PAVEMENT ELEV
- XXX PROPOSED PAVEMENT ELEV
- X.XX PROPOSED TOP OF SIDEWALK ELEV
- M.E. MATCH EXISTING PAVEMENT / BOTTOM OF CURB ELEV
- X.XXX
- T.W. XXX PROPOSED TOP OF WALL ELEV
- F.G. XXX PROPOSED FINISH GRADE ELEV
- HP PROPOSED HIGH POINT
- PROP. DRAINAGE FLOW DIRECTION
- PROP. STORM PIPE
- PROP. STORM INLET
- PROP. CLEAN OUT
- EXISTING CONTOUR
- XX PROPOSED CONTOUR

STORM SCHEDULE

- S-1 REPLACE EXISTING STORM MANHOLE
TOP ELEV = 9.50'
N.W. INV. ELEV = 3.75'
(REFER TO FDOT INDEX 201)
- S-2 24 L.F. 18" Ø RCP @ 0.63%
- S-3 TYPE 'C' INLET
GRATE ELEV = 8.90'
S.E. INV. ELEV = 3.90'
(REFER TO FDOT INDEX 232)
- S-4 NYLOPLAST 12-INCH DRAIN BASIN (APRVD. EQUAL)
DOME GRATE ELEV = 9.10'
S.E. INV. ELEV = 5.30'
- S-5 55 L.F. 12" Ø RCP @ 0.31%
- S-6 NYLOPLAST 12-INCH DRAIN BASIN (APRVD. EQUAL)
DOME GRATE ELEV = 9.05'
S.E. INV. ELEV = 5.90'
- S-7 53 L.F. 12" Ø SD @ 0.36%
- E-1 EXISTING STORM INLET CORE FOR PIPE CONNECTION (S-5) ON WEST SIDE AT INVERT ELEV ±5.13. SEAL/CORE CONNECTION TO ENSURE WATERTIGHT CONNECTION. CONTRACTOR SHALL PLUS EXISTING PIPES AND DE-WATER AS NEEDED DURING CONSTRUCTION TEMPORARILY. REFER TO NOTE 7 ON THIS SHEET
- E-2 EXISTING STORM INLET CORE FOR PIPE CONNECTION (S-7) ON WEST SIDE AT INVERT ELEV ±5.71. SEAL/CORE CONNECTION TO ENSURE WATERTIGHT CONNECTION. CONTRACTOR SHALL PLUS EXISTING PIPES AND DE-WATER AS NEEDED DURING CONSTRUCTION TEMPORARILY. REFER TO NOTE 7 ON THIS SHEET

GENERAL GRADING NOTES

1. PRIOR TO ANY DEMOLITION OR CONSTRUCTION ACTIVITY THE CONTRACTOR SHALL INSTALL EROSION AND SEDIMENTATION CONTROL MEASURES SHOWN ON PLANS AND PROVIDED FOR IN FOOT INDEX NO. 102. AS CONSTRUCTION PROGRESSES, THE CONTRACTOR SHALL PERIODICALLY CHECK THE SEDIMENTATION CONTROLS AND REPAIR THEM AS NECESSARY TO KEEP THEM IN GOOD FUNCTIONING ORDER. THE CONTRACTOR SHALL ALSO PROTECT INLETS AND OTHER SITE APPURTENANCES FROM SEDIMENTATION USING PROTECTION AS DETAILED IN FOOT INDEX NO. 102
2. THE CONTRACTOR SHALL CONDUCT GROUND STABILIZING MEASURES (PAVING, GRASSING, MULCHING AND SOODING) AS SOON AS PRACTICABLE FOLLOWING FINAL GRADING OF THE SITE.
3. FOLLOWING COMPLETION OF CONSTRUCTION AND COMPLETED STABILIZATION OF POTENTIAL EROSION AREAS, THE CONTRACTOR SHALL REMOVE SEDIMENTATION CONTROL MEASURES AND CLEAN AND REPAIR ANY AREAS AFFECTED BY THE CONSTRUCTION ACTIVITIES. ANY SILTATION IN THE STORMWATER SYSTEM SHALL BE COMPLETELY FLUSHED PRIOR TO CERTIFICATION OF COMPLETION
4. HAVING CONSULTED THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP (FIRM) COMMUNITY PANEL NO. 120020-0430-G REVISED DATE MARCH 17, 2014, THE SUBJECT PROPERTY APPEARS TO LIE IN ZONE X, WHICH ARE AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD PLAIN AND LIES IN ZONE X₁ (SHADED) WITH AREAS OF 0.2% CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD, AND ALSO LIES IN ZONE AE, WHICH ARE SPECIAL FLOOD HAZARD AREAS INUNDATE BY 100 YEAR FLOOD WITH BASE FLOOD ELEVATIONS DEPICTED AS 3.7 FEET NAVD 88. THIS DETERMINATION WAS BASED ON GEO-SPATIAL DATA DOWNLOADED FROM WWW.FEMA.GOV THIS DETERMINATION WAS BASED ON A GRAPHIC INTERPOLATION OF SAID MAP AND NOT ON ACTUAL FIELD MEASUREMENTS
5. CONTRACTOR SHALL FIELD VERIFY EXISTING AND SURROUNDING DEVELOPMENT GRADES AND CONTACT ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO CONSTRUCTION
6. CONTRACTOR SHALL VERIFY POSITIVE DRAINAGE FLOW AWAY FROM BLDG. AND THAT A MINIMUM SLOPE OF AT LEAST 1% IN THE DIRECTION OF DRAINAGE FLOW INDICATED CAN BE ACHIEVED
7. EXISTING DRAINAGE SYSTEM TO BE CLEANED BY CONTRACTOR PRIOR TO FINAL SITE APPROVAL BY CITY
8. REFER TO SHEET C-2 FOR ADDITIONAL NOTES

BEFORE YOU DIG!
CALL SUNSHINE STATE ONE CALL OF FLORIDA
AT LEAST TWO FULL BUSINESS DAYS BEFORE
DIGGING OR DISTURBING EARTH!

Sunshine State 811
One Call

Know what's below.
Call before you dig.

www.call811.com

YVONNE PAGUADA, P.E.
 REGISTERED

No.	Date	Revision	By

YEP	JWS	JLT	AS SHOWN	08/28/16	S13346	No.

Plans Prepared by:
CPH, Inc.
 1031-C.W. 23rd St.
 Panama City, FL 32405
 P.O. Box 363, 14th
 License:
 Eng. C.O.A. No. 3215
 Survey L.B. No. 7143
 Arch. Lic. No. AA380925
 Landsc. Lic. No. LC0000298

SUNTRUST
 2501 GALIANO STREET
 MIAMI-DADE COUNTY / FLORIDA

COMPOSITE UTILITY PLAN
 Sheet No.
C-7

GENERAL UTILITY NOTES

- SEE COVER SHEET FOR A LIST OF UTILITY COMPANIES
- GENERAL CONTRACTOR IS TO COORDINATE WITH APPROPRIATE UTILITY COMPANIES PRIOR TO CONSTRUCTION, ADJUSTMENT OR RELOCATION OF EXISTING UTILITIES AS DESIGNATED ON PLANS
- THE CONTRACTOR SHALL NOTIFY THE UTILITY AUTHORITY INSPECTORS 72 HOURS BEFORE CONNECTING TO ANY EXISTING LINE
- DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING UTILITIES. EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO NEW UTILITY LINES BEING INSTALLED.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING UTILITY DURING CONSTRUCTION AT NO COST TO THE OWNER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES, IN SUCH A MANNER AS TO AVOID CONFLICT AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH UTILITY REQUIREMENTS AS TO LOCATION AND SCHEDULING FOR TIE-INS/ CONNECTIONS PRIOR TO CONNECTING TO EXISTING UTILITIES.
- THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN PAVED AREAS SHALL MATCH FINISHED GRADE. THE TOP ELEVATION OF MANHOLES CONSTRUCTED IN GRASSED AREAS SHALL BE 4" ABOVE FINISHED GRADE (UNLESS NOTED OTHERWISE).
- ALL MANHOLES CONSTRUCTED WITHIN PAVED AREAS SHALL BE INSTALLED WITH TRAFFIC BEARING RINGS AND COVERS.
- ALL CLEAN-OUTS WITHIN THE PAVEMENT AREA SHALL BE INSTALLED WITH TRAFFIC BEARING PARTS AS APPLICABLE.
- CONTRACTOR SHALL GROUT AROUND ALL PIPE ENTRANCES TO SANITARY SEWER MANHOLES WITH NON-SHRINKING GROUT TO ASSURE CONNECTION IS WATER TIGHT.
- ALL CONCRETE FOR ENCASUREMENT SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 28 DAYS.
- CONTRACTOR SHALL PROVIDE ALL APPURTENANCES SUCH AS CHECK VALVES, BACKFLOW PREVENTERS, ETC., AS REQUIRED BY GOVERNING AUTHORITIES.
- ALL WATER, FIRE MAIN AND SANITARY SEWER LINES SHALL HAVE A MINIMUM OF 3' OF COVER. PE WATER SERVICE MAY BE REDUCED TO 2' WHEN NECESSARY.
- CONTRACTOR SHALL COORDINATE INSPECTION ON ALL UTILITIES WITH APPROPRIATE AUTHORITIES PRIOR TO COVERING TRENCHES DURING INSTALLATION.
- CONSTRUCTION SHALL COMPLY WITH ALL GOVERNING CODES AND REQUIREMENTS. THE CONTRACTOR SHALL CONDUCT ALL REQUIRED TESTS TO THE SATISFACTION OF THE RESPECTIVE UTILITY COMPANIES AND THE OWNER'S INSPECTING AUTHORITIES.
- ALL NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES AND/OR UTILITY SERVICE COMPANIES SHALL BE PERFORMED PRIOR TO ANNOUNCED BUILDING POSSESSION AND THE FINAL CONNECTION OF SERVICES.
- CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING AND OTHER MEANS OF PROTECTION. THIS TO INCLUDE BUT NOT BE LIMITED, FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
- THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (80-36, LAWS OF FLORIDA). ANY MATERIAL, CONSTRUCTION METHODS, OR MATERIAL COST TO COMPLY WITH THESE LAWS SHALL BE INCIDENTAL TO THE CONTRACT.
- ALL FILL MATERIAL IS TO BE IN PLACE AND COMPACTED BEFORE INSTALLATION OF PROPOSED UTILITIES.
- CONTRACTOR TO LOCATE LIGHT POLES AND FIXTURES AS INDICATED. CONTRACTOR TO BUILD NEW POLE BASE AND STUB CONDUIT AND WIRE AS NEEDED.
- CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING EXCAVATION.
- ALL WATER MAINS, FIRE WATER MAINS AND SERVICES SHALL BE TESTED, APPROVED AND DISINFECTED IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS PRIOR TO CONNECTION TO MUNICIPAL SYSTEMS.
- THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS SIX (6) FEET, OR MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER OVER SEWER LINE IS (12) INCHES.
- CHAPTER 553.851 OF THE FLORIDA STATUTES REQUIRES THAT AN EXCAVATOR NOTIFY ALL GAS UTILITIES A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO EXCAVATION.
- THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE UTILITY PROVIDERS 48 HOURS PRIOR TO ANY UTILITIES CONSTRUCTION.
- REFER TO SHEET C-2 FOR ADDITIONAL NOTES.

UTILITY LEGEND

- S — PROPOSED SEWER
- W — PROPOSED WATER LINE
- E — PROPOSED ELECTRIC SERVICE (1" PVC CONDUIT WITH PULL BOXES)
- T — PROPOSED TELEPHONE SERVICE (2" PVC CONDUITS WITH PULL BOXES)
- ⏚ — PROPOSED ELECTRIC TRANSFORMER/PAD
- ⦿ — PROPOSED SITE LIGHTING & POST REFER TO SHEET PS-1 FOR DETAILS

POTABLE WATER SCHEDULE

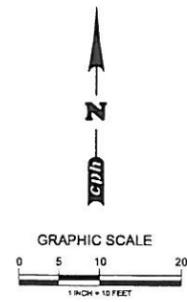
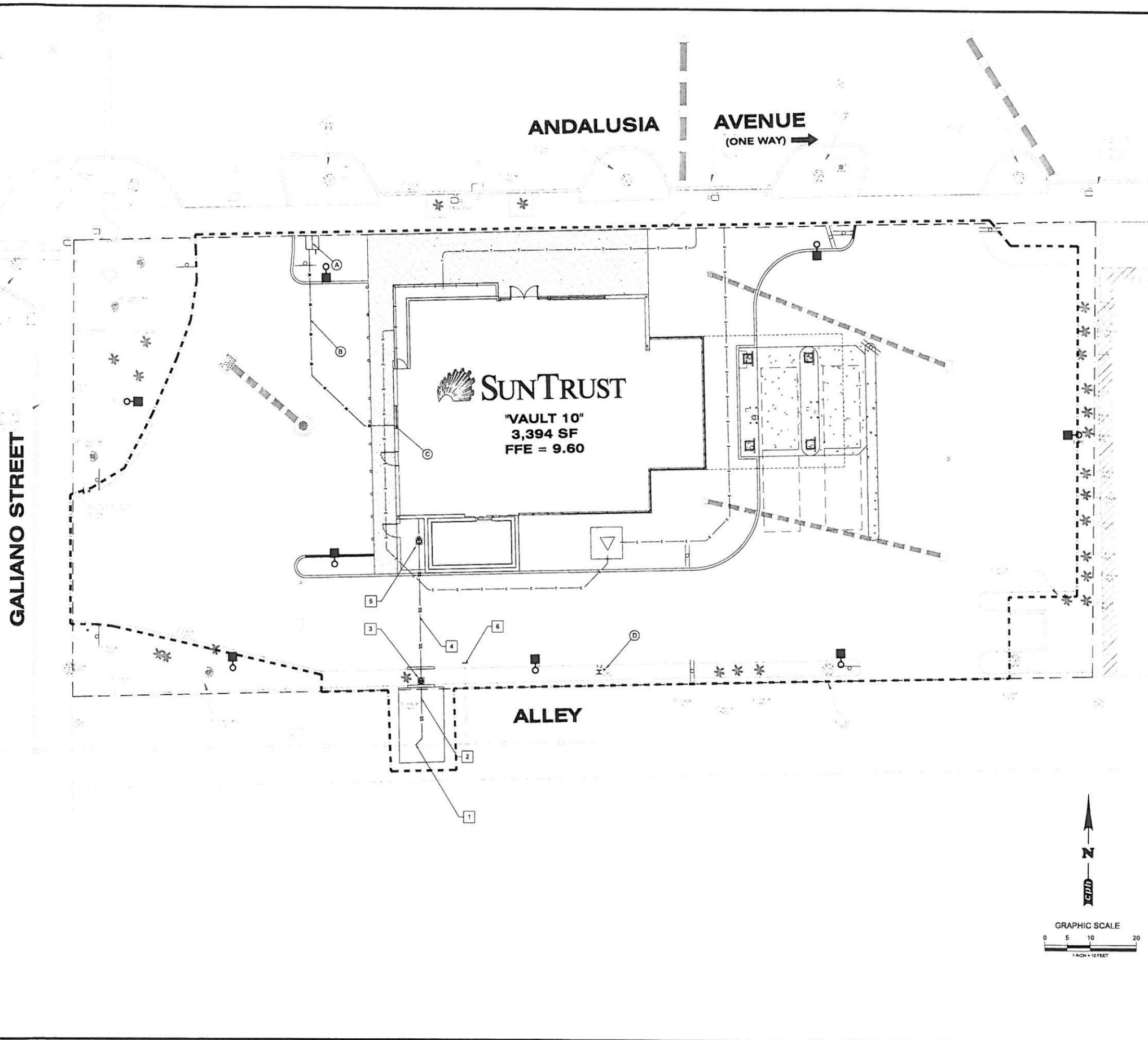
- (A) CONNECT TO PROPOSED METER WITH A 1-1/2" P.E. SERVICE LINE TO BUILDING. TWO METER ASSEMBLIES WITH BACK-FLOW PREVENTERS: ONE FOR BUILDING AND ONE FOR IRRIGATION TO BE INSTALLED BY MIAMI-DADE COUNTY WASD. CONTRACTOR SHALL COORDINATE CONNECTION WITH MIAMI-DADE COUNTY WASD.
- (B) PROPOSED 1-1/2" P.E. SERVICE LINE.
- (C) PROPOSED WATER SERVICE CONNECTION POINT AT BUILDING (REFER TO ARCHITECTURAL PLANS FOR CONTINUATION)
- (D) EXISTING METER AND BFP TO BE CAPPED AFTER CONSTRUCTION COMPLETED. SEE SHEET D-1 FOR ADDITIONAL INFORMATION.

SANITARY SEWER LINE SCHEDULE

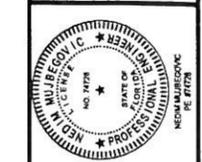
- CONNECT PROPOSED 8" SEWER SERVICE TO EXISTING 8" VCP GRAVITY SEWER LINE, PER CITY OF CORAL GABLES SPECIFICATIONS. EXISTING INV. 4.2. CONTRACTOR SHALL COORDINATE CONNECTION WITH THE CITY OF CORAL GABLES UTILITIES DIVISION PRIOR TO CONSTRUCTION. SEE SHEET C-4 FOR DETAILS.
- 1 14' L.F. - 8" P.V.C. @ 3.21% MINIMUM
- 2 8" WYE W/ CLEAN OUT, INV. 4.65 SEE SHEET C-4 FOR DETAILS.
- 3 30' L.F. - 8" P.V.C. @ 3.17% MINIMUM
- 4 SANITARY SEWER CONNECTION POINT (LIMIT OF CIVIL DESIGN IS OUTSIDE OF BLDG.) 8" WYE CLEAN OUT, INV. 5.80 (REFER TO ARCHITECT PLANS)
- 5 EXISTING SANITARY SEWER CONNECTION TO BE CAPPED. SEE SHEET D-1 FOR ADDITIONAL DETAILS.

BEFORE YOU DIG:
 CALL SUNSHINE STATE ONE CALL OF FLORIDA
 AT LEAST TWO BUSINESS DAYS BEFORE
 DIGGING OR DISTURBING EARTH

Sunshine State One Call 811
 Know what's below.
 Call before you dig.
 www.ca2fl.com



J:\S13346\Civil\DWG\Design\11_S13346_CUP.dwg, Jul 07, 2016, 3:04pm, jalex



Offices In:

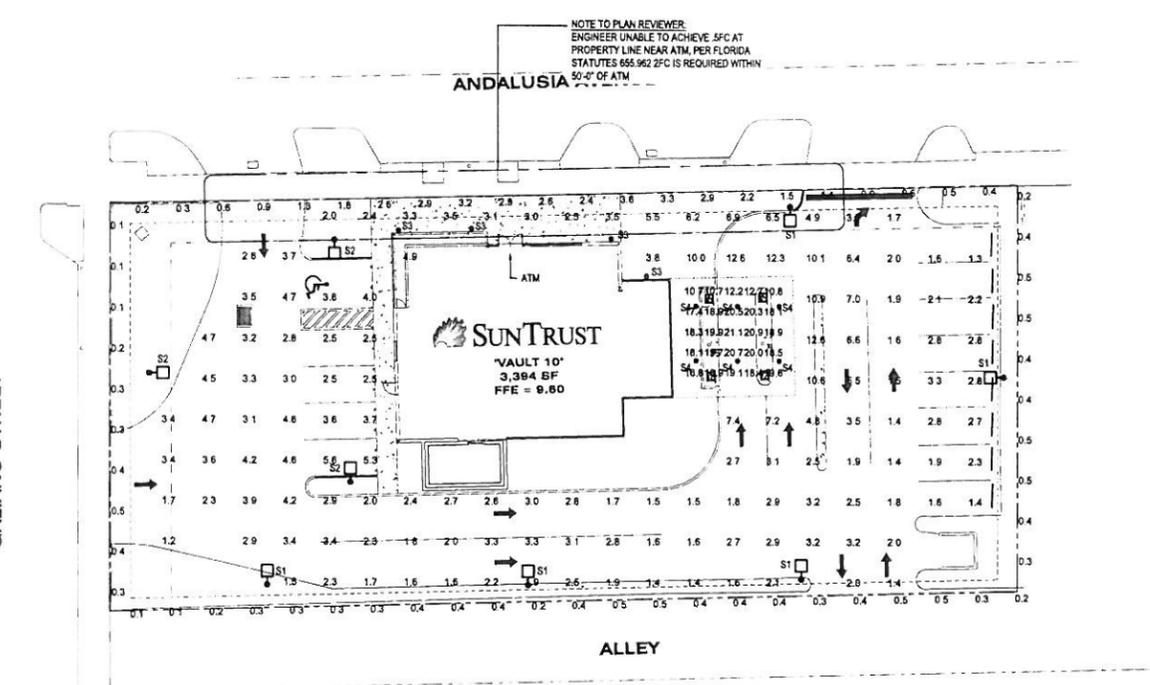
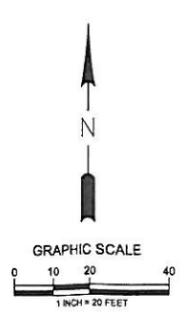
- Florida
- Puerto Rico
- Connecticut
- Maryland

Designed by:	R.D.H.	
Drawn by:	R.D.H.	
Checked by:	N.M.	
Approved by:	N.M.	
Scale:	1"=20'	
Date:	5/31/16	
Job No.:	S13346	

By		
Revision		
Date		

PHOTOMETRIC SITE PLAN
SUNTRUST
2501 GALIANO STREET
MIAMI-DADE COUNTY, FLORIDA

Sheet No.
PS-1



Statistics

Description	Avg	Max	Min	Max/Min	Avg/Min
Canopy	15.9 ft	21.1 ft	7.5 ft	2.81	2.11
Parking Lot	3.5 ft	12.8 ft	1.2 ft	10.61	2.91
Property Line	6.8 ft	3.6 ft	0.1 ft	36.01	8.01

LUMINAIRE SCHEDULE - SITE

TYPE	DESCRIPTION	MANUFACTURER	LAMP TYPE	VOLTAGE
S1	SITE LIGHTING LED WITH SINGLE HEAD WITH BACKLIGHT SHIELD POLE MOUNTED AT 15'-0" A.F.C.	CREE ARE-EDG-3AP-DA-36-E-U1-S2/F	LED	UNV
S2	SITE LIGHTING LED WITH BACKLIGHT SHIELD POLE MOUNTED AT 15'-0" A.F.C.	CREE ARE-EDG-4AP-DA-36-E-U1-S2/F	LED	UNV
S3	WALL MOUNTED LED LIGHT MOUNTED AT 15'-0" A.F.C.	CREE REC-EDG-2M-WM-62-E-U1-S2/F	LED	UNV
S4	LED CANOPY LIGHT	BLACON COME-18-10-44-TS204-UNV-FUSE-0	LED	UNV

NOTES:
1. FINAL FUTURE COLORS AND FINISHES SHALL BE SELECTED AND APPROVED BY OWNER/ARCHITECT

ORBEON SERIES
SURFACE MOUNT GARAGE

PRODUCT DESCRIPTION
Orbeon is a commercial grade LED parking garage and canopy luminaire which offers high lumen output, a simple design, and easy installation. It is designed to be installed in parking garages and canopies. It is designed to be installed in parking garages and canopies. It is designed to be installed in parking garages and canopies.

LED OPTICS
Each Orbeon luminaire is supplied with a wide beam lens and optional performance upgrade to meet specific needs of your application.

INSTALLATION
Orbeon luminaire is designed to be installed in parking garages and canopies. It is designed to be installed in parking garages and canopies. It is designed to be installed in parking garages and canopies.

CERTIFICATIONS/LISTINGS
UL 1568, UL 8750, IP65

Cree Edge™ Series
LED Area/Road Luminaire

Product Description
The Cree Edge™ Series has a slim, low profile design, rugged cast aluminum housing, and features a wide beam lens and optional performance upgrade to meet specific needs of your application.

Performance Summary
Patented NextGen™ Product Technology
Made in the U.S.A. of U.S. and imported parts
CFL Minimum: 70 CRI
CCT: 4000K (4000), 5000K (5000), 5000K (5000)
Limited Warranty: 10 years on luminaire / 5 years on ColorCast Data Guard™ lens

Accessories
Road Mount, Pole Mount, Wall Mount, etc.

Ordering Information
Luminaire, LED, Cree Edge™ Series

Cree Edge™ Series
LED Security Wall Pack Luminaire

Product Description
The Cree Edge™ Series has a slim, low profile design, rugged cast aluminum housing, and features a wide beam lens and optional performance upgrade to meet specific needs of your application.

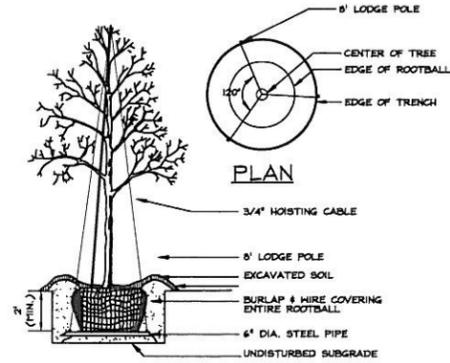
Performance Summary
Patented NextGen™ Product Technology
Made in the U.S.A. of U.S. and imported parts
CFL Minimum: 70 CRI
CCT: 4000K (4000), 5000K (5000), 5000K (5000)
Limited Warranty: 10 years on luminaire / 5 years on ColorCast Data Guard™ lens

Accessories
Wall Mount, Pole Mount, etc.

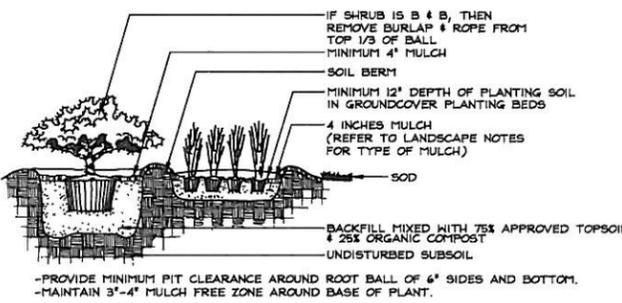
Ordering Information
Luminaire, LED, Cree Edge™ Series

LANDSCAPE NOTES:

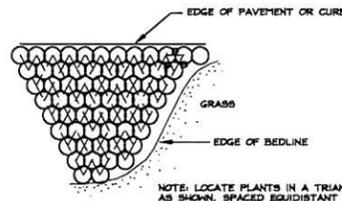
- The Landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plan and in the Landscape Specifications. In the event of variation between quantities shown on a plan, list and the plans, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface utilities.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. Locations of existing buried utility lines shown on the plans are based upon best available information and are considered to be approximate. It shall be the responsibility of the contractor (1) to verify the location of utility lines within and adjacent to the work area (2) to protect all utility lines during the construction period (3) to repair any and all damage to utilities, structures, site furnishings, etc. which occurs as a result of the construction (4) to field adjust the location of proposed trees and/or other 10' off the center of the utility lines. Notify the Landscape Architect if a 10' offset does not function.
- The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to ensure availability and proper location of irrigation lines and plants.
- Contractor shall ensure that there are no visual obstructions to vehicle lines of sight and traffic controls. Contractor shall field adjust tree and/or large shrub locations to avoid any such obstructions.
- Trees shall be maintained by the owner to avoid future such obstructions by pruning trees and/or shrubs as necessary utilizing horticulturally sound techniques.
- All planting shall be performed by personnel familiar with planting procedures and under the supervision of a qualified planting foreman.
- All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Stock, Part I and II, published by the Florida Department of Agriculture and Consumer Services.
- The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
- Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the trade.
- The minimum acceptable size of all plants, measured after pruning, with branches in normal positions, shall conform to the measurements specified on the plans list, or as indicated on the landscape drawing. Height and spread dimensions refer to main body of the plant and not extreme branch tip to tip. Trunk caliper (trunk diameter) is measured 6 inches from the ground on trees up to and including 4 inches in caliper, and 12 inches from the ground for larger trees. Since trunks are seldom round, the average of the largest diameter and that perpendicular to it is referred to as caliper.
- Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.
- All tree pits shall be excavated to size and depth in accordance with the Florida Grades & Standards for Nursery Stock, unless shown otherwise on the drawings, and backfilled with the specified planting soil. The Landscape Contractor shall seal fill all tree pits with water before planting to ensure proper drainage percolation is available.
- The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at time of planting and kept adequately watered until time of acceptance. It shall be the Landscape Contractor's responsibility to ensure that plants are not over watered.
- It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper staking or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.
- All Palms to be staked as indicated per Palm staking details. All other trees to be stabilized utilizing 8' lodge poles per tree planting details.
- Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.
- Sod shall be of a species specified on the drawings and originate from a commercial turf grower. It shall be a dense stand of live turf, reasonably free of weeds, well matted with grass roots in rectangular 12 inch by 24 inch or in 12 inch wide rolls in a length consistent with the equipment and methods used to handle the rolls and place the sod. Any netting contained within the sod shall be certified by the manufacturer to be biodegradable. The soil and root mat shall be a minimum of 1-1/2 inch thick and must hold together during placement. Sod shall be placed adjacent to one another to avoid gaps and overlaps. Adjacent sods shall be staggered between the rows. Sod placed on slopes exceeding 3% shall be pinned with turf staples. Sod turf, shall have been mowed a minimum of one week prior to cutting and delivery, so that the length of the turf is no longer than 4 inches at time of delivery. Place sod within 48 hours of cutting the sod. The sod shall be kept moist throughout the 48 hour period to maintain the health and viability of the sod. Submit a letter of certification to the Owner's CEI Representative, at time of delivery, as to the source of the sod, the time it was cut, the species and cultivar provided, best mowing date, and the sod is free of fire ants. Sod which has been cut for longer than 48 hours after being cut shall not be used unless specifically authorized by Owner's CEI Representative. It shall be the Contractor's responsibility to measure and determine the exact quantity of sod required for a complete job at the time of bidding or providing a price quote. The Owner shall not be responsible for additional cost due to the Contractor's under-estimating of the quantity of sod for the original bid area.
- The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil shall be accomplished to insure drainage. If soil drainage is not adequate to ensure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.
- The Landscape Contractor shall insure that his work does not interrupt established or projected drainage patterns.
- The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Confirm with the Landscape Architect or Owner the extent of work required at time of bidding.
- Match - All plant beds shall be top dressed with 4" shredded hardwood mulch (or approved equal).
- Transplanted Material - The Landscape Contractor shall be responsible for determining and evaluating which plant material is suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to ensure the successful transplanting of determined plant material. The Landscape Contractor shall be responsible for replacing any relocated plant material which die if such measure are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required.



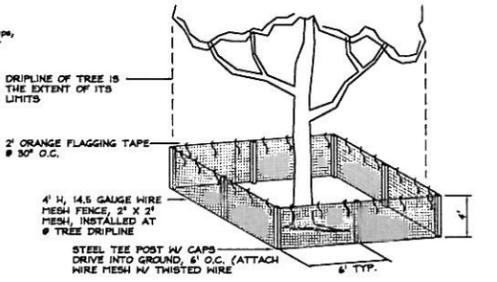
TREE RELOCATION DETAIL
N.T.S.



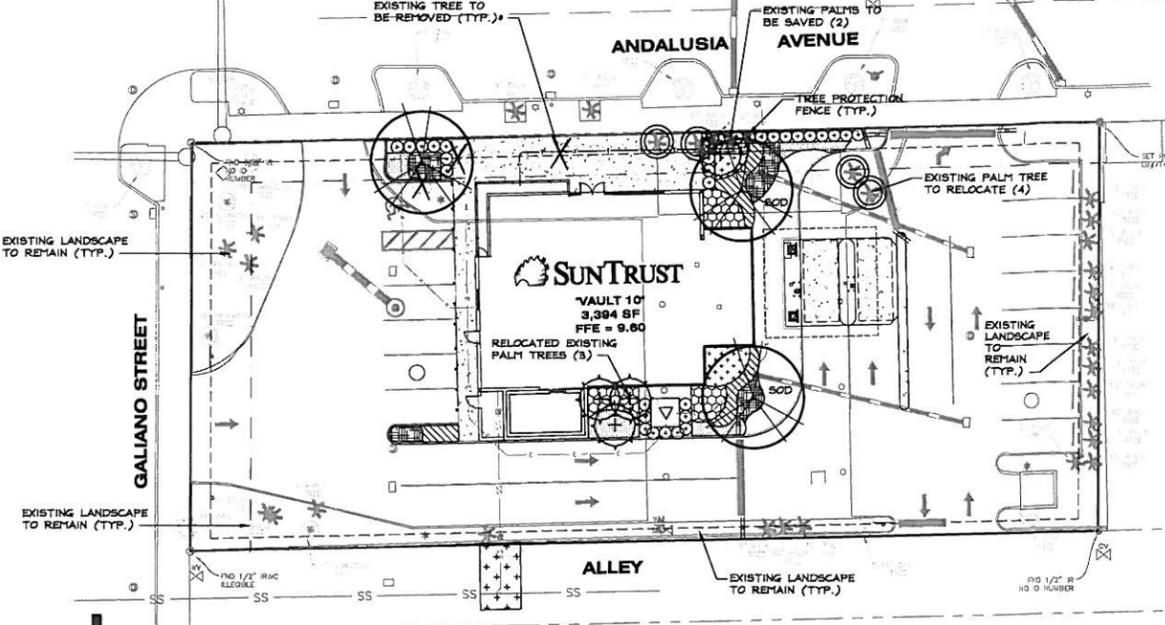
SHRUB AND GROUND COVER PLANTING DETAIL
N.T.S.



SHRUB/GROUND COVER SPACING PLAN
N.T.S.



TREE PROTECTION DETAIL
N.T.S.



PLANT LIST

SYM.	COMMON NAME	BOTANICAL NAME	DESCRIPTION	QTY
TREES				
HV	HIGHRISE LIVE OAK	QUERCUS VIRGINIANA 'HIGHRISE'	3 CAL., 12' MIN HT, 3' SPRD	3
RP	RELOCATED PALM TREE	EXISTING PALM	REFER TO PLAN	4
EX	EXISTING TREES	EXISTING TREES	REFER TO PLAN	-
SHRUBS				
CI	REDTIP COCOPLUM	CHRYSOBALANUS ICAGO	3 GAL., 18' MIN HT, 12' SPRD, 36' OC	-
GROUND COVER				
DGM	GOLD MOUND DURANTA	DURANTA ERECTA 'GOLD MOUND'	3 GAL., 15" H X 10" SPR, 24" OC	-
JBP	BLUE PACIFIC JUNIPER	JUNIPERUS CONFERTA 'BLUE PACIFIC'	1 GAL., 3" H X 8" SPR, 15" OC	-
LEG	EVERGREEN GIANT	LIRIOPE MUSCARI 'EVERGREEN GIANT'	1 GAL., FULL, 18" O.C.	-
MC	MUHLI GRASS	MUHLENBERGIA CAPILLARIS	3 GAL., 15" H X 10" SPR, 30" OC	-
SR	SILVER SAN PALMETTO	SERENOA REPENS 'SILVER FORM'	3 GAL., 15" H X 10" SPR, 30" OC	-
SOD	ST. AUGUSTINE GRASS	STENOTAPHRUM SECUNDATUM	SOLID SOD, CONTRACTOR TO VERIFY QTY.	-

NOTE:
PLANT DESCRIPTIONS ARE FOR MINIMUM ACCEPTABLE SPECIFICATIONS. ALL CRITERIA LISTED FOR CONTAINER SIZE, CALIPER, HEIGHT, SPREAD, ETC. MUST BE MET FOR PLANT MATERIAL ACCEPTANCE. FOR EXAMPLE, IF A THREE GALLON SHRUB DOES NOT MEET THE HEIGHT OR SPREAD SPECIFICATION, IT WILL NOT BE ACCEPTED.

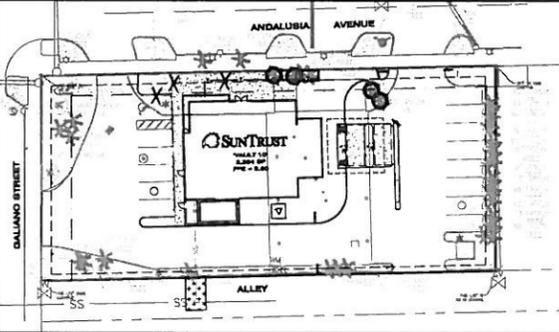
IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND CITY STAFF.

ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SODDED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER.

ALL LANDSCAPED AREAS WILL BE 100% IRRIGATED WITH A CENTRAL AUTOMATIC IRRIGATION SYSTEM INCLUDING A RAIN SENSOR.

CONTRACTOR TO MODIFY EXISTING IRRIGATION SYSTEM TO INSURE ADEQUATE IRRIGATION FOR ALL NEW PLANT MATERIAL.

CONTRACTOR SHALL REPLACE ANY EXISTING SOD OR OTHER PLANT MATERIALS DAMAGED DURING CONSTRUCTION IN AREAS THAT ARE OUTSIDE PROPOSED LANDSCAPE AS SHOWN ON THE PLAN.



- TREE RETENTION DATA**
- (X) - EXISTING TREE TO BE REMOVED
 - (R) - EXISTING TREE TO BE RELOCATED
 - (S) - EXISTING TREE TO BE SAVED
- EXISTING TREES REMOVED:**
15' OAK
21' OAK
22' OAK
- EXISTING TREES RELOCATED:**
12' PALM
12' PALM
11' PALM
10' PALM

BEFORE YOU DIG!
CALL SUNSHINE STATE ONE CALL OF FLORIDA
AT LEAST TWO FULL BUSINESS DAYS BEFORE
DIGGING OR DISTURBING EARTH

Sunshine State One Call
www.callbeforeyoudig.com

Know what's below.
Call before you dig.

- TREE BARRICADE APPROVAL**
CITY APPROVAL OF TREE BARRICADES PRIOR TO BEGINNING CLEARING OPERATIONS OR ANY SITE DEVELOPMENT
- TREE PROTECTION NOTES:**
- Four (4) foot high 14.5 gauge wire 2'x2' mesh fencing shall be installed encircling the drip line of each tree, or one foot 8" diameter for each inch of trunk diameter, whichever is greater. When surveyed fencing shall be moved to the edge of the tree protection area (TPA) as indicated on plans and be maintained through completion of construction.
 - Where the TPA occurs within 10 feet of the tree trunk, a trenching device shall be used to sever tree roots. Root raking shall not occur before roots have been clearly severed.
 - All equipment and/or materials are prohibited within the TPA, including but not limited to cement wash-water, chemicals, fuel or equipment servicing.
 - Grade changes shall not occur within the TPA. No fill shall be added, removed or stored within the TPA with exception of prescribed potting soil (see item 10).
 - Brush and weeds occurring within the TPA shall be cleared by hand or utilizing only the mower of a light wheeled farm tractor (less than 60 hp). During such activities soil profiles shall not be disturbed.
 - Root-raking, disk, root raking or other clearing methods that disturb the soil profile are expressly prohibited.
 - Utility lines and/or irrigation lines shall not occur within the TPA.
 - Saved trees shall be pruned to remove dead and damaged wood, correct structural defects and to provide access and visibility.
 - Pruning shall be completed under direct observation by the Designated Forester of CPH Engineers, Inc. or owner designated ISA certified arborist and be accomplished by an arborist with five years or more experience pruning the same to ISA standards. Arborist must obtain approval from the owner prior to commencement of pruning activities. Two week advance notification is required.
 - Landscaping within TPA shall not disturb existing soil profiles. Eight inches of potting soil shall be imported and evenly spread to provide a planting medium within TPA.

cph
www.cphcorp.com
Engineers
Surveyors

Offices in:
• Florida
• Puerto Rico
• Connecticut
• Maryland
• Texas

Professional Seal: JAMES JACKSON III, P.E., S.E., F.L.S., F.A.S.T., F.A.S., F.A.S.T. No. 120000011, JUL 07, 2018

Designed by: JKW/RES
Drawn by: RES
Checked by: JKW
Approved by: JKW
Scale: 06/21/16
Date: 06/21/16
Job No.: S-13346
© 2016

Plans Prepared by: **CPH, Inc.**
1031-CW 23rd St
Panama City, FL 32405
Ph: 850.563.1490
Licenses:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA280029
Landscape Lic. No. LC0000298

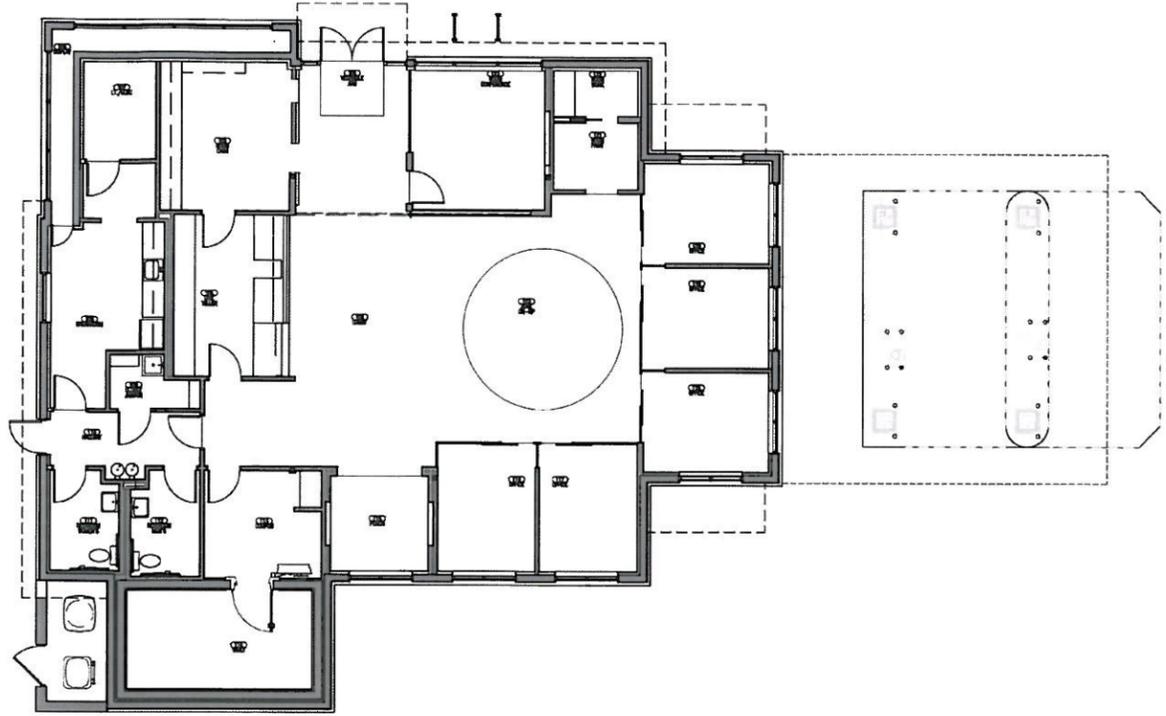
LANDSCAPE PLAN

SUNTRUST
2501 GALIANO STREET
MIAMI-DADE COUNTY / FLORIDA

Sheet No.
L-1

J:\S13346\Landscaping\DWG\Drawings\Design\Plan\S13346_LSP.dwg, Jul 07, 2016 - 9:56am, nantini

plotted 2016 Jul 06 - 11:36am Path: P:\2016 file\16-033 SunTrust Miracle Mile - Cora Gables\PO33-004-005 Drawings and CD's\Architectural\Working Drawings\site approval - arch deliverables\16033-A-4.dwg



E1 FLOOR PLAN
SCALE: 1/8" = 1'-0"



G7 WEST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



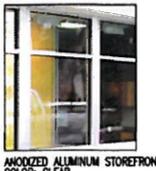
E7 EAST EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"

COLOR SAMPLES/FINISHES SCHEDULE

Please note type of material proposed

ATTACH SAMPLES		ATTACH SAMPLES	
ROOF		AWNINGS	N/A
WALLS		RAILINGS	N/A
FASCIA		DOORS	
WINDOWS		SCREENING (PATIO/POOL)	N/A
COLUMNS		STONE BASE	

INDICATE FINISH TYPE (Flat, Gloss etc): SATIN FINISH



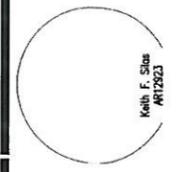
A1 STOREFRONT
SCALE: 1/8" = 1'-0"



C5 NORTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



A5 SOUTH EXTERIOR ELEVATION
SCALE: 1/8" = 1'-0"



Robert Reid Wedding Architects & Planners, AIA, Inc.
4112 Cypress Street - Tampa, Florida 33607 - 813-878-6986
612 South Military Trail - Deerfield Beach, Florida 33442 - 564-429-8361
Florida License #: Architectural/Interior Design: AA-C001123



SunTrust Bank South Florida
MIRACLE MILE OFFICE
2501 GALIANO STREET
CORAL GABLES, FLORIDA

Date	Description	Approval

commission number 16-033

THE DESIGN AND CONCEPTS DEPICTED HEREWITH ARE THE SOLE PROPERTY OF ROBERT REID WEDDING ARCHITECTS & PLANNERS, AIA, INC. NO REPRODUCTION, REVISIONS OR REUSE OF THIS DRAWING IS AUTHORIZED WITHOUT SPECIFIC WRITTEN PERMISSION. ALL RIGHTS RESERVED.



1031-C West 23rd Street
Panama City, FL 32405
Phone: 850.563.1490
Fax: 850.563.1495

July 7, 2016

Development Review committee
City of Coral Gables
427 Biltmore Way, Suite 201
Coral Gables, FL 33134

Re: Art in Public Places Statement for SunTrust Bank Located at 2501 Galiano Street, Coral Gables, FL Development Review Committee Application.
CPH Job No. S13346

Dear DRC:

We do not anticipate Art in Public Places to be required for this project since it should not meet the min. \$1,000,000 construction value.

Should you require any question or require additional information regarding this matter, please contact me at (850) 563-1490.

Sincerely,

CPH, INC.

A handwritten signature in blue ink, appearing to read 'Yvonne Paguada', is written over the printed name.

Yvonne Paguada, P.E.
Project Manager



1031-C West 23rd Street
Panama City, FL 32405
Phone: 850.563.1490
Fax: 850.563.1495

July 7, 2016

Development Review committee
City of Coral Gables
427 Biltmore Way, Suite 201
Coral Gables, FL 33134

Re: Historical Significance Letter Application for SunTrust Bank Located at 2501 Galiano Street,
Coral Gables, FL Development Review Committee Application.
CPH Job No. S13346

Dear DRC:

We do not anticipate the existing drive-through that was constructed in 1984 to be of historic significance, but will apply for a Historical Significance Letter as required for the proposed demolition.

Should you require any question or require additional information regarding this matter, please contact me at (850) 563-1490.

Sincerely,

CPH, INC.

A handwritten signature in blue ink, appearing to read 'Yvonne Paguada', is written over the typed name.

Yvonne Paguada, P.E.
Project Manager



**CITY OF CORAL GABLES
LOBBYIST ANNUAL REGISTRATION APPLICATION
FOR EACH PRINCIPAL REPRESENTED**

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

FOR THIS PURPOSE: To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name Jason James, P.E.
LOBBYIST

Print Your Business Name, if applicable CPH, Inc.

Business Telephone Number 305-274-4805

Business Address 1992 SW 1st St. Miami, FL 33135
ADDRESS CITY, STATE ZIP CODE

Federal ID#: N/A

State the extent of any business or professional relationship you have with any current member of the City Commission.

N/A

PRINCIPAL REPRESENTED:

NAME Thomas Crociata, First V.P. COMPANY NAME, , IF APPLICABLE SunTrust Bank

BUSINESS ADDRESS 200 S. Orange Ave., Orlando, FL TELEPHONE NO.: 407-237-4430

ANNUAL REPORT: On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is required to be filed even if there were no expenditures.

LOBBYIST ISSUE APPLICATION: Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

NOTICE OF WITHDRAWAL: If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

ANNUAL LOBBYIST REGISTRATION FEE: This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$150.00 Lobbyist Registration Fee is required.

I Jason James, P.E. hereby swear or affirm under penalty of perjury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$150.00 Annual Lobbyist Registration Fee.



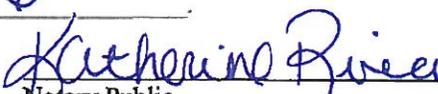
Signature of Lobbyist

STATE OF FLORIDA)
)
COUNTY OF DADE)

BEFORE ME personally appeared Jason James to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 7/7/10

Personally Known
 Produced ID



Notary Public
State of Florida



\$150.00 Fee Paid _____ Received By _____ Date: _____

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) _____

For Office Use Only

Data Entry Date: _____, 20____. Entered By: _____



**CITY OF CORAL GABLES
LOBBYIST
ISSUE APPLICATION**

REGISTRATION #: _____

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

CITY OFFICIALS: Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board, Committee Members, or any City Official or staff.

FOR THIS PURPOSE: To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.

Print Your Name Jason James, P.E.
LOBBYIST

Print Your Business Name CPH, Inc.

Business Telephone Number 305-274-4805

Business Address 1992 SW 1st St. Miami, FL 33135
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: Thomas Crociata, First V.P. SunTrust Bank

Principal Address: 200 S. Orange Ave., Orlando, FL Telephone Number: 407-237-4430

ISSUE: Describe in detail, including address, if applicable, of the specific issue on which you will lobby: (**Separate Application is required for each specific issue**)

Permit review required for SunTrust Bank's proposed rebuild at 2501 Galiano St., Coral Gables, FL.

29 55 15

Printed for Lawyers' Title Guaranty Fund, Orlando, Florida

This instrument was prepared by
EMUND P. RUSSO

RUSSO, ALLEN & BAKER, P.A.
4675 Ponce de Leon Boulevard #301
CORAL GABLES, FLORIDA 33146

OFF REC 11987 PG 954

Warranty Deed

(STATUTORY FORM—SECTION 689.02 F.S.)

This Indenture, Made this 1st day of December 1983 Between
RALPH ALKIRE

of the County of Dade, State of Florida, grantor, and
FLAGSHIP NATIONAL BANK OF MIAMI, N.A.

whose post office address is 777 Brickell Avenue, Miami, Florida 33131

of the County of Dade, State of Florida, grantee.

Witnesseth, That said grantor, for and in consideration of the sum of TEN (\$10.00) and no/100-----

-----Dollars,
and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby
acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following
described land, situate, lying and being in Dade County, Florida, to-wit:

Lots 1, 2, 3 and 4, Block 5 of CORAL GABLES CRAFTS SECTION,
according to the Plat thereof, recorded in Plat Book 10, Page
40 of the Public Records of Dade County, Florida.

Subject to:

1. Taxes for the current year and subsequent years.
2. Conditions, restrictions, limitations, easements and reservations of record, if any, and applicable zoning ordinances.

2955 15
Documentary Stamps Collected
Dade County
Richard P. Brinker
Clk. Circuit & County Courts

By D. Shalton Dec 83

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "grantee" are used for singular or plural, as context requires.

In Witness Whereof, Grantor has hereunto set grantor's hand and seal the day and year first above written.
Signed, sealed and delivered in our presence:

Jessie A. Cox _____ (Seal)
Kelly E. Donnick _____ (Seal)
 _____ (Seal)
 _____ (Seal)

Ralph Alkire _____ (Seal)
 RALPH ALKIRE _____ (Seal)

STATE OF FLORIDA
COUNTY OF DADE
I HEREBY CERTIFY that on this day before me, an officer duly qualified to take acknowledgments, personally appeared
RALPH ALKIRE

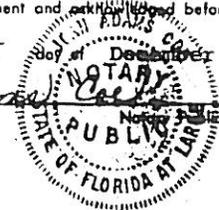
to me known to be the person described in and who executed the foregoing instrument and acknowledged before me that he executed the same.

WITNESS my hand and official seal in the County and State last aforesaid this 1st day of December 1983

My commission expires:

NOTARY PUBLIC STATE OF FLORIDA
BY COMMISSION EXP. SEPT. 25, 1987

RECORDED IN OFFICIAL RECORDS BOOK
OF DADE COUNTY, FLORIDA,
RECORD VERIFIED
RICHARD P. BRINKER
CLERK CIRCUIT COURT



WARRANTY DEED
(FROM CORPORATION TO CORPORATION)

562.50

Warranty Deed

REC 9823 pg1424

This Indenture, Made, this 5th day of October . A. D. 1977 .

BETWEEN THE CITY OF CORAL GABLES, a municipal corporation existing under the laws of the State of Florida, having its principal place of business in the County of Dade and State of Florida, and lawfully authorized to transact business in the State of Florida, party of the first part, and FLAGSHIP FIRST NATIONAL BANK OF CORAL GABLES a corporation existing under the laws of the State of Florida, having its principal place of business in the County of Dade and State of Florida, 100 Miracle Mile, Coral Gables, FL 33134 and lawfully authorized to transact business in the State of Florida, party of the second part,

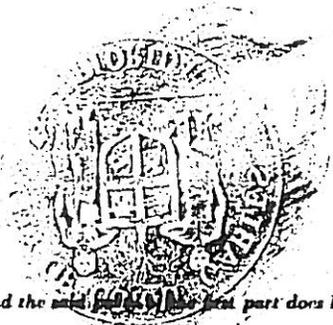
WITNESSETH: That the said party of the first part, for and in consideration of the sum of One Dollars and other good and valuable consideration ~~to be~~ to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said party of the second part, its successors and assigns forever, the following described land situate, lying and being in the County of Dade and State of Florida, to-wit:

Lots 5, 6, 7, 8, and 9, Block 5 of CORAL GABLES CRAFTS SECTION, according to the plat thereof, as recorded in Plat Book 10 at Page 40 of the Public Records of Dade County, Florida

SUBJECT to easements, restrictions and limitations of record.

STATE OF FLORIDA
DOCUMENTARY STAMP TAX
DEPT. OF REVENUE
P.B. OCT-77 562.50
11057

FLORIDA DOCUMENTARY SUR TAX
OCT-77 P.D. 10524
206.25



And the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

This instrument was prepared by: CHARLES H. SPOONER, City Attorney
Coral Gables City Hall, 405 Biltmore Way, Coral Gables, Florida 33134

TUW

In Witness Whereof, the said party of the first part has caused these presents to be signed in its name by its proper officers, and its corporate seal to be affixed, attested by its Secretary, the day and year above written.

Attest: *[Signature]*
Virginia L. Paul, City Clerk

CITY OF CORAL GABLES
By: *[Signature]*
J. Martin Gainer
City Manager

Signed, sealed and delivered in the presence of us:
[Signatures]

Authority of Resolution No. 21845, duly passed and adopted on September 15, 1977.

State of Florida,

County of Dade

I Hereby Certify, that on this 5th day of October A. D. 1977, before me personally appeared J. MARTIN GAINER and VIRGINIA L. PAUL, ~~and~~ City Manager and City Clerk ~~President and Secretary~~ respectively of THE CITY OF CORAL GABLES, a municipal corporation under the laws of the State of Florida, to me known to be the persons who signed the foregoing instrument as such officers and severally acknowledged the execution thereof to be their free act and deed as such officers for the uses and purposes therein mentioned and that they affixed thereto the official seal of said corporation, and that the said instrument is the act and deed of said corporation.

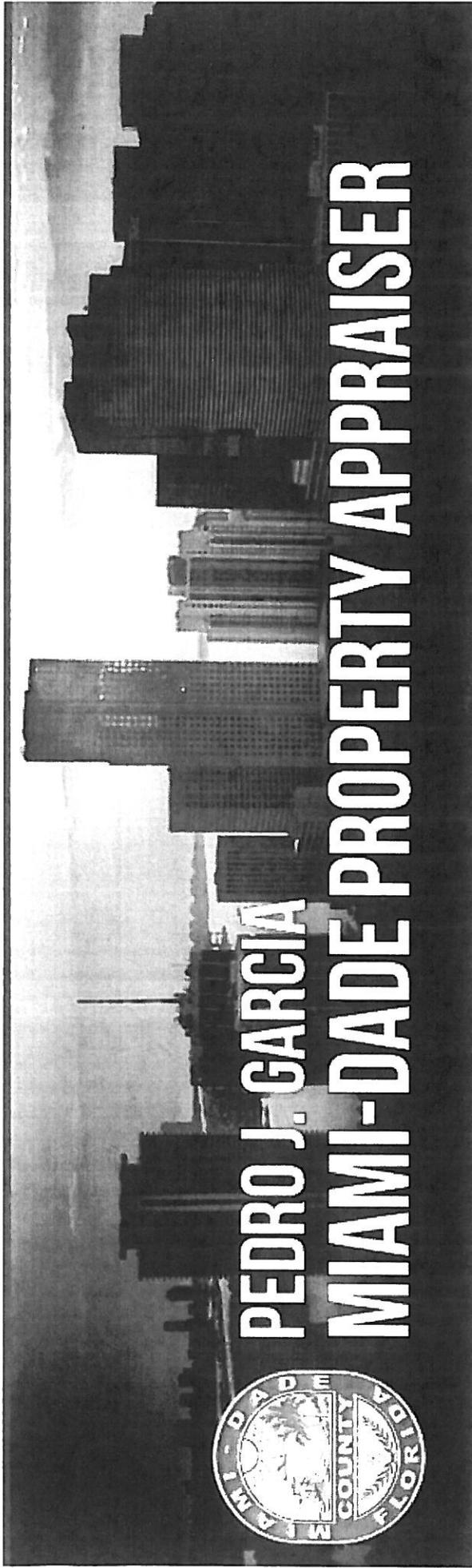
Witness my hand and official seal at the City of Coral Gables in the County of Dade and State of Florida the day and year last aforesaid.

[Signature] (Seal)

NOTARY PUBLIC STATE OF FLORIDA at LARGE
MY COMMISSION EXPIRES JULY 24, 1978

NOTARY PUBLIC STATE OF FLORIDA at LARGE
MY COMMISSION EXPIRES JULY 24, 1978
BONDED THRU GENERAL INSURANCE UNDERWRITERS

RAMCOS FORM 3816
WARRANTY DEED
(FROM CORPORATION TO CORPORATION)
FROM
TO
ABSTRACT OF DESCRIPTION
Bated



IMPORTANT MESSAGE The Property Appraiser does not send tax bills and does not set or collect taxes. Please visit the Tax Collector's website directly for additional information.

Address	Owner Name	Folio
---------	------------	-------

SEARCH:

03-4117-005-1010



PROPERTY INFORMATION

Folio: 03-4117-005-1010

Sub-Division:
CORAL GABLES CRAFTS SEC

Property Address

Owner
SUNTRUST BANK
CORP REAL ESTATE/LAUREN FOX

Mailing Address

515 E LAS OLAS BLVD STE 550
FT LAUDERDALE, FL 33301

Primary Zone

6600 COMMERCIAL - LIBERAL

Primary Land Use

2865 PARKING LOT/MOBILE HOME PARK : PARKING LOT

Beds / Baths / Half

0 / 0 / 0

Floors

0

Living Units

0

Actual Area

0

Living Area

0

Adjusted Area

0

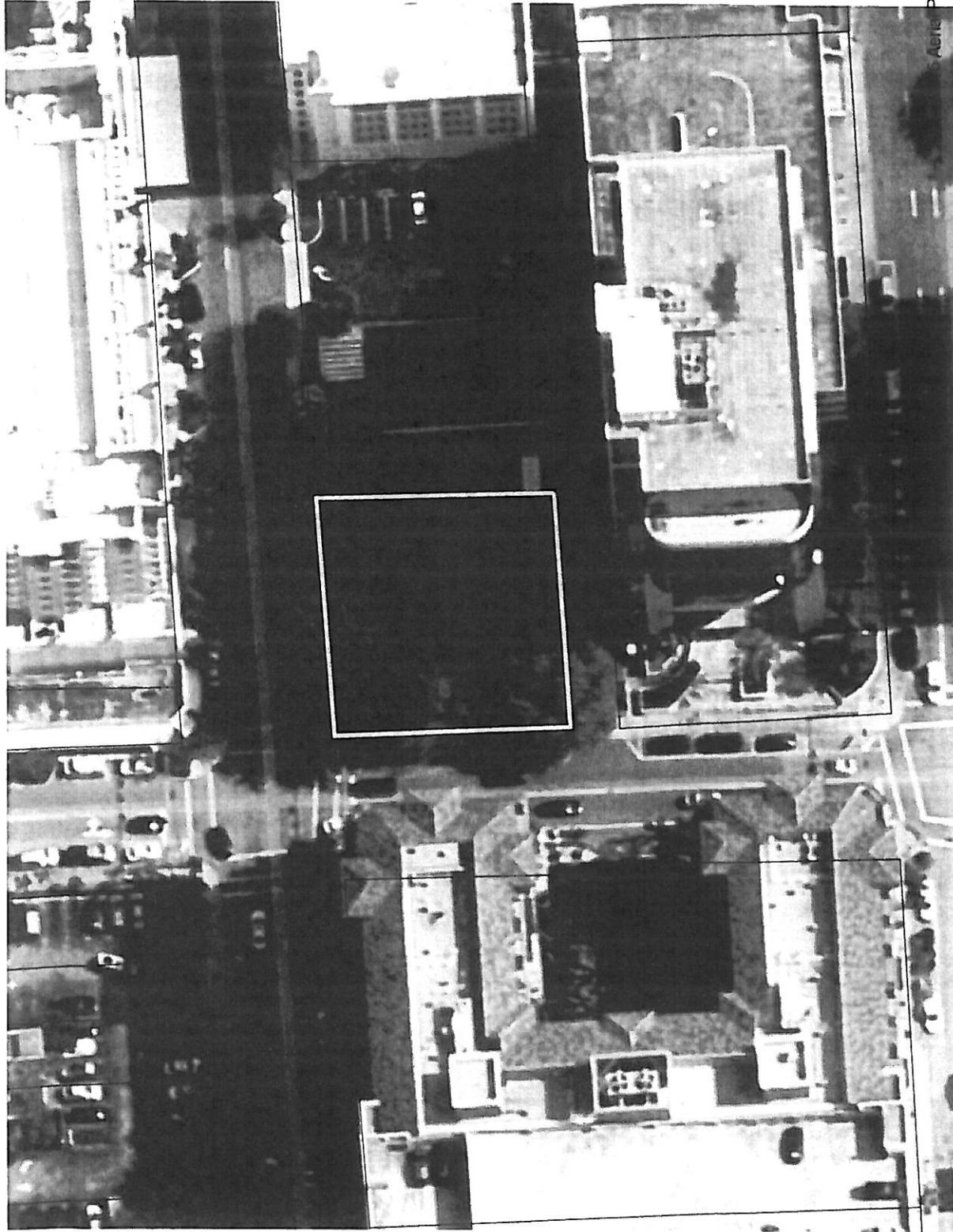
Lot Size

10,000 Sq.Ft

Year Built

0





Featured Online Tools

- Comparable Sales
- Non-Ad Valorem Assessments
- Property Record Cards
- Property Taxes
- Report Homestead Fraud
- Tax Estimator
- Value Adjustment Board

- Glossary
- PA Additional Online Tools
- Property Search Help
- Report Discrepancies
- Tax Comparison
- TRIM Notice

ASSESSMENT INFORMATION

Year	2015	2014	2013
Land Value	\$1,320,000	\$1,225,000	\$1,200,000
Building Value	\$0	\$0	\$0
Extra Feature Value	\$12,312	\$12,483	\$12,654
Market Value	\$1,332,312	\$1,237,483	\$1,212,654
Assessed Value	\$1,218,383	\$1,107,621	\$1,006,929

TAXABLE VALUE INFORMATION

COUNTY	2015	2014	2013
Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,218,383	\$1,107,621	\$1,006,929
SCHOOL BOARD			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,332,312	\$1,237,483	\$1,212,654

CITY

Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,218,383	\$1,107,621	\$1,006,929

REGIONAL

Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,218,383	\$1,107,621	\$1,006,929

BENEFITS INFORMATION

Benefit	Type	2015	2014	2013
Non-Homestead Cap	Assessment Reduction	\$113,929	\$129,862	\$205,725

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

FULL LEGAL DESCRIPTION

CORAL GABLES CRAFTS SEC

PB 10-40

LOTS 1 TO 4 INC BLK 5

LOT SIZE 100.000 X 100

OR 16958-3193 1095 5

SALES INFORMATION

Previous Sale	Price	OR Book-Page	Qualification Description
10/01/1995	\$0	16958-3193	Sales which are disqualified as a result of examination of the deed

04/01/1983 \$656,700 11786-0476 Other disqualified

For more information about the Department of Revenue's Sales Qualification Codes.

2015 2014 2013

LAND INFORMATION

Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	CC	6600 - COMMERCIAL - LIBERAL	Square Ft.	10,000.00	\$1,320,000

BUILDING INFORMATION

Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value

EXTRA FEATURES

Description	Year Built	Units	Calc Value
Light Standard - 10-30 ft High - 1 Fixture	1984	2	\$1,296
Paving - Asphalt	1984	10,200	\$11,016

ADDITIONAL INFORMATION

* The information listed below is not derived from the Property Appraiser's Office records. It is provided for convenience and is derived from other government agencies.

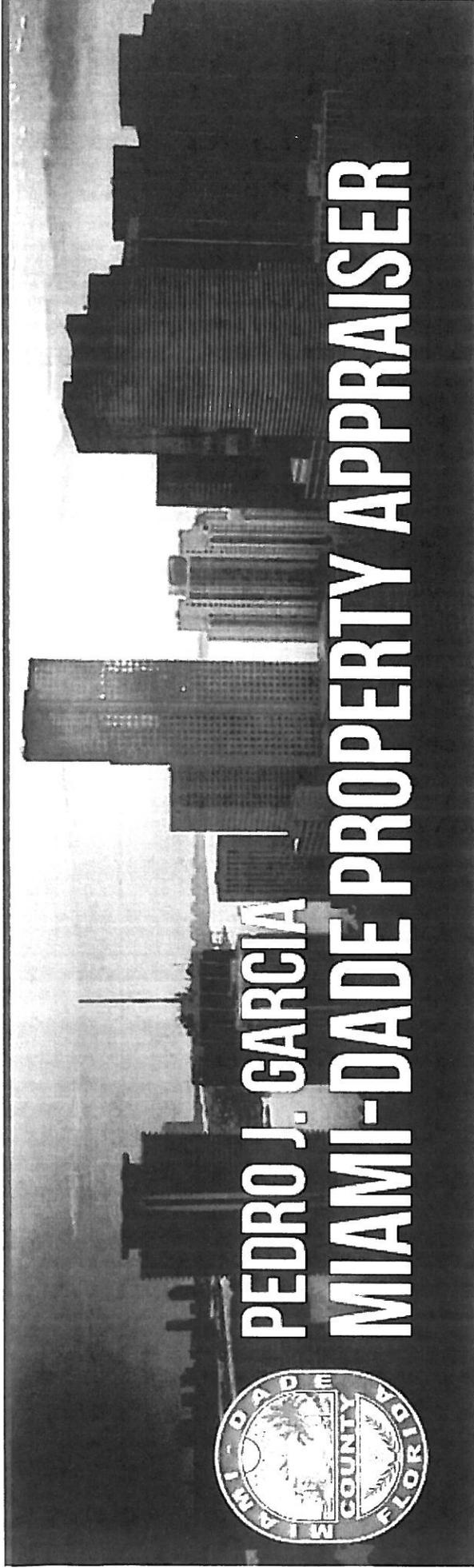
LAND USE AND RESTRICTIONS

Community Development District: NONE
Community Redevelopment Area: NONE
Empowerment Zone: NONE
Enterprise Zone: NONE
Urban Development: INSIDE URBAN DEVELOPMENT BOUNDARY
Zoning Code: C -
Existing Land Use: 650 - PARKING - PUBLIC AND PRIVATE GARAGES AND LOTS.
 Government Agencies and Community Services

OTHER GOVERNMENTAL JURISDICTIONS

Business Incentives
 Childrens Trust
 City of Coral Gables
 Environmental Considerations
 Florida Department Of Revenue
 Florida Inland Navigation District
 PA Bulletin Board
 Non-Ad Valorem Assessments
 School Board
 South Florida Water Mgmt District
 Tax Collector

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>. For inquiries and suggestions email us at <http://www.miamidade.gov/PAPortal/ContactForm/ContactFormMain.aspx>.



IMPORTANT MESSAGE The Property Appraiser does not send tax bills and does not set or collect taxes. Please visit the Tax Collector's website directly for additional information.

Address	Owner Name	Folio
---------	------------	-------

SEARCH:

03-4117-005-1020



PROPERTY INFORMATION

Folio: 03-4117-005-1020

Sub-Division:
CORAL GABLES CRAFTS SEC

Property Address
2501 GALIANO ST
Coral Gables, FL 33134-6111

Owner
SUNTRUST BANK
CORP REAL ESTATE/LAUREN FOX

Mailing Address
515 E LAS OLAS BLVD STE 550
FT LAUDERDALE, FL 33301

Primary Zone
6600 COMMERCIAL - LIBERAL

Primary Land Use
2313 FINANCIAL INSTITUTION : OFFICE BUILDING

Beds / Baths / Half 0 / 0 / 0

Floors 1

Living Units 0

Actual Area 0

Living Area 0 Sq.Ft

Adjusted Area 12,500 Sq.Ft

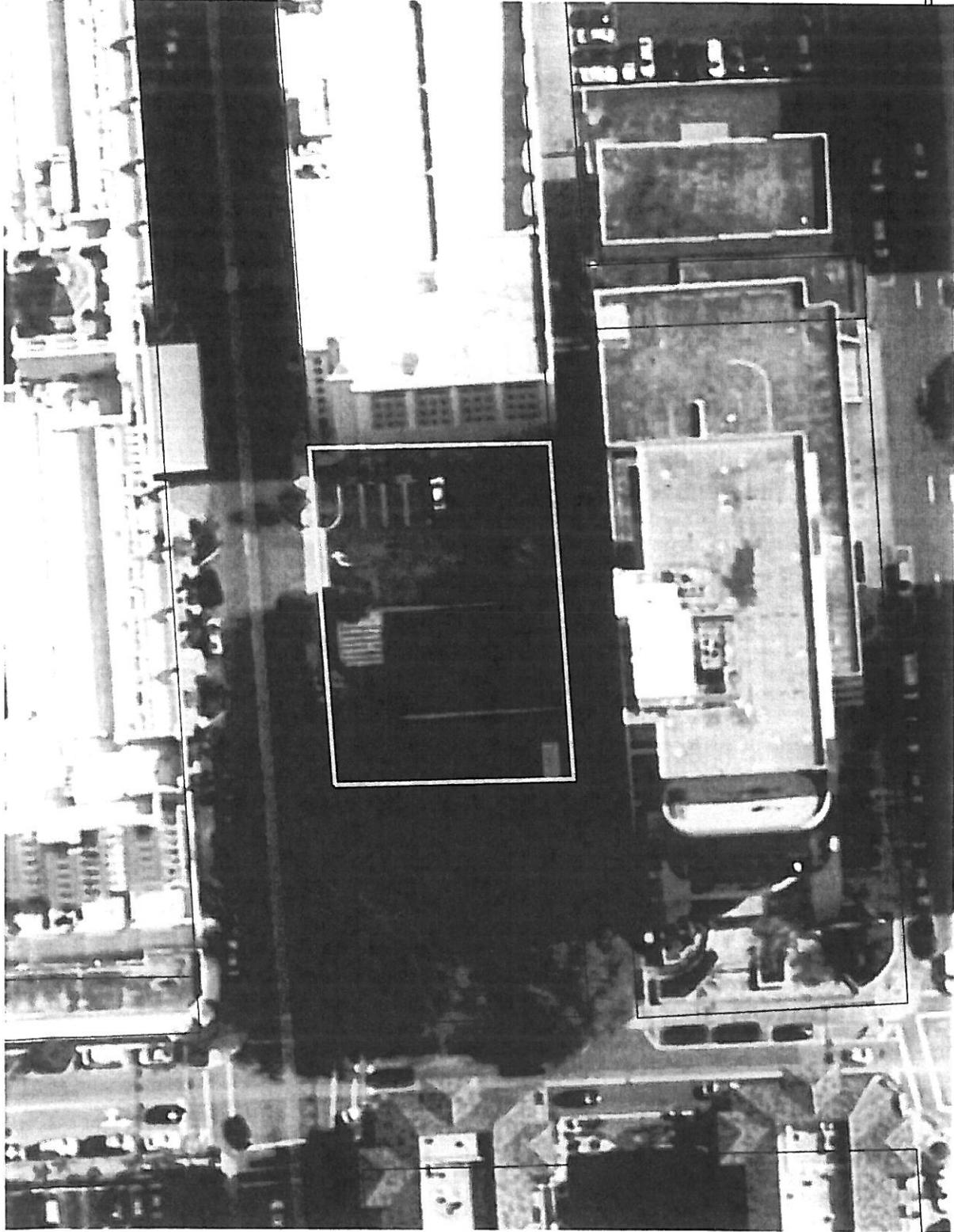
Lot Size 0

Year Built 0



Map View ▾

Layers ▾



Photography 60ft

Featured Online Tools

Comparable Sales
 Non-Ad Valorem Assessments
 Property Record Cards
 Property Taxes
 Report Homestead Fraud
 Tax Estimator
 Value Adjustment Board

Glossary
 PA Additional Online Tools
 Property Search Help
 Report Discrepancies
 Tax Comparison
 TRIM Notice

ASSESSMENT INFORMATION

Year	2015	2014	2013
Land Value	\$1,650,000	\$1,530,000	\$1,500,000
Building Value	\$10,000	\$0	\$0
Extra Feature Value	\$0	\$0	\$0
Market Value	\$1,660,000	\$1,540,000	\$1,510,000
Assessed Value	\$1,510,685	\$1,373,350	\$1,248,500

TAXABLE VALUE INFORMATION

COUNTY	2015	2014	2013
Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,510,685	\$1,373,350	\$1,248,500
SCHOOL BOARD			
Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,660,000	\$1,540,000	\$1,510,000

CITY

Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,218,383	\$1,107,621	\$1,006,929

REGIONAL

Exemption Value	\$0	\$0	\$0
Taxable Value	\$1,218,383	\$1,107,621	\$1,006,929

BENEFITS INFORMATION

Benefit	Type	2015	2014	2013
Non-Homestead Cap	Assessment Reduction	\$149,315	\$166,650	\$261,500

Note: Not all benefits are applicable to all Taxable Values (i.e. County, School Board, City, Regional).

FULL LEGAL DESCRIPTION

CORAL GABLES CRAFTS SEC PB 10-40
 LOTS 5 THRU 9 BLK 5
 LOT SIZE 125.000 X 100
 OR 16958-3193 1095 5

SALES INFORMATION

Previous Sale	Price	OR Book-Page	Qualification Description
10/01/1995	\$0	16958-3193	Sales which are disqualified as a result of examination of the deed

For more information about the Department of Revenue's Sales Qualification Codes.

2015 2014 2013

LAND INFORMATION

Land Use	Muni Zone	PA Zone	Unit Type	Units	Calc Value
GENERAL	CC	6600 - COMMERCIAL - LIBERAL	Square Ft.	12,500.00	\$1,650,000

BUILDING INFORMATION

The Building calculated value for this property has been overridden. Please refer to the Building Value in the Assessment Section, in order to obtain the most accurate value.

Building Number	Sub Area	Year Built	Actual Sq.Ft.	Living Sq.Ft.	Adj Sq.Ft.	Calc Value
1	1	1984			2,605	

EXTRA FEATURES

The Extra Feature calculated value for this property has been overridden. Please refer to the XF Value in the Assessment Section, in order to obtain the most accurate value.

Description	Year Built	Units	Calc Value
Cent A/C - Comm (Approx 300 sqft/Ton)	1984	1.5	
Light Standard - 10-30 ft High - 1 Fixture	1984	1	
Paving - Asphalt	1984	4,800	

ADDITIONAL INFORMATION

* The information listed below is not derived from the Property Appraiser's Office records. It is provided for convenience and is derived from other government agencies.

LAND USE AND RESTRICTIONS

Community Development District: NONE
Community Redevelopment Area: COUNTYGIS
Empowerment Zone: COUNTYGIS
Enterprise Zone: COUNTYGIS
Urban Development: COUNTYGIS
Zoning Code: COUNTYGIS
Existing Land Use: COUNTYGIS
 Government Agencies and Community Services

OTHER GOVERNMENTAL JURISDICTIONS

Business Incentives
 Childrens Trust
 City of Coral Gables
 Environmental Considerations
 Florida Department Of Revenue
 Florida Inland Navigation District
 PA Bulletin Board
 Non-Ad Valorem Assessments
 School Board
 South Florida Water Mgmt District
 Tax Collector

The Office of the Property Appraiser is continually editing and updating the tax roll. This website may not reflect the most current information on record. The Property Appraiser and Miami-Dade County assumes no liability, see full disclaimer and User Agreement at <http://www.miamidade.gov/info/disclaimer.asp>

For inquiries and suggestions email us at <http://www.miamidade.gov/PAPortal/ContactForm/ContactFormMain.aspx>.

Version: 2.0.3

EXEMPTIONS & BENEFITS

Deployed Military

Disability Exemptions

Homestead

Institutional

Senior Citizens

[More >](#)

REAL ESTATE

40 Yr Building
Re-Certification

Appealing Your Assessment

1031C W 23RD ST
PANAMA CITY, FL 32405
PH 850-563-1490 FAX 850-563-1495

63-215/631

7-7-16 Date

Pay to the Order of CITY OF CORAL GABLES \$ 100.00
ONE HUNDRED & NO/100 Dollars

Security Features Details on Back



ACH RT 061000104

For 513346 Application Fee

⑆063102152⑆100005146968⑆1⑆1221

GUARD AN SAFETY® B