

# 1500 Venera Avenue / 1515 San Remo Avenue



APPLICANT:  
ANIBAL DUARTE-VIERA  
3470 NORTHWEST 82ND AVENUE  
SUITE 988 DORAL, FLORIDA 33122

LEGAL:  
GUNSTER  
BRICKELL WORLD PLAZA  
600 BRICKELL AVENUE, SUITE 3500  
MIAMI, FLORIDA 33131

LANDSCAPE ARCHITECT:  
BERMELLO AJAMIL & PARTNERS, INC.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FLORIDA 33133

ARCHITECT:  
BERMELLO AJAMIL & PARTNERS, INC.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FLORIDA 33133

TRAFFIC ENGINEER:  
DAVID PLUMMER & ASSOCIATES  
1750 PONCE DE LEON BOULEVARD  
CORAL GABLES, FLORIDA 33134

CIVIL ENGINEER:  
BERMELLO AJAMIL & PARTNERS, INC.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FLORIDA 33133

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September 8, 2016

**VIA HAND DELIVERY**

Mr. Ramon Trias  
Planning and Zoning Director  
City of Coral Gables  
427 Biltmore Way, 2<sup>nd</sup> Floor  
Coral Gables, FL 33134

**Re: 1500 Venera Avenue and 1515 San Remo Avenue / DRC Application  
Statement of Use**

Dear Mr. Trias:

On behalf of Sunset Place Luxury Holdings, LLC and 1500 Coral Gables, LLC (the "Applicants"), we respectfully submit this Statement of Use in connection with the enclosed Development Review Committee application for a proposed mixed use development to be located at 1500 Venera Avenue and 1515 San Remo Avenue (the "Property") which will require the following approvals: (1) Small Scale Comprehensive Plan Map Amendment for 1515 San Remo Avenue, (2) Zoning Code Map Amendment for 1515 San Remo Avenue, and (3) Mixed Use (MXD) Site Plan (the "Approvals"). The Property is approximately xx square feet (xx.x acres) in size and is bounded by Venera Avenue to the North, Yumuri Street to the East, San Remo Avenue to the South, and the existing five-story Plaza San Remo building to the West. The Property is identified by the following Miami-Dade Tax Folio Numbers: 03-4130-033-0001 and 03-4130-009-1040.

The Applicant previously obtained approvals for a Small Scale Comprehensive Plan Amendment, Mixed Use Site Plan, and Zoning Code Map Amendment for the property located at 1500 Venera Avenue. The Applicant is currently under contract to purchase the property located at 1515 San Remo Avenue so as to provide for an expanded and improved proposed development. The existing three-story structure on the site, the Villa San Remo Condominium, along with the existing two-story building to the North, forms a low-rise "pocket" which is no longer consistent with the taller buildings around it, including the 62 foot tall building which is owned by Baptist Health South Florida to the south across San Remo Avenue, the Plaza San Remo building to the west which is 104 feet tall, and the other Baptist Hospital office building located at 6855 Red Road which is 70 feet in height. The Property is also surrounded by the Riviera Nursing Home located at 6901 Yumuri Street which is 65 feet tall and the International Charter School located at 1570 Madruga Avenue which is 55 feet in height.

The purpose of this letter is to request Level 1 review of the proposed project by the Development Review Committee. The Applicant proposes to demolish the existing apartment and condominium buildings currently located at 1500 Venera Avenue and 1515 San Remo Avenue and to construct a mixed use retail and residential development on the site. The Project will include an apartment building which will be nine (9) stories high and will contain a total of 172 dwelling units and over 33,000 square feet of retail on the ground floor (the "Project"). The ground floor of the building will include walk up live-work townhome type units and will also be used for the residents' amenities and building support facilities including a clubhouse, kitchen, fitness, and spa as well as other building functions such as the lobby, manager's office, mailroom, and utility rooms.

Pursuant to the City's Future Land Use Map, the relevant section of which is attached as **Exhibit A**, 1515 San Remo Avenue is designated Residential Multi-family Medium Density and is bounded by properties designated Commercial Mid-Rise Intensity to the north, west and south. The Property is zoned (MF2) Multi-Family 2 District and is surrounded by mostly Commercial zoning. The relevant section of the Zoning Map is attached as **Exhibit B**. Amending the Future Land Use Map to make the land use designation of this Property Commercial Mid-Rise Intensity will make it consistent with the land use designations of the adjacent properties. Rezoning the site to Commercial (C) will make it consistent with most of the other existing zoning in the area and will facilitate the height and density needed to make the Project feasible.

We respectfully submit that the proposed zoning district boundary changes comply with the applicable criteria as set forth in Section 3-1404 of the Zoning Code as follows:

1. It is consistent with the Comprehensive Plan in that it:
  - a. Does not permit uses which are prohibited in the future land use category of the parcel proposed for development.

The proposed mixed residential and retail use is permitted in the requested Commercial Mid-Rise Intensity land use category. This category is oriented to medium intensity pedestrian and neighborhood commercial uses, including residential, retail, services, office and mixed use.

- b. Does not allow densities or intensities in excess of the densities or intensities which are permitted by the future land use category of the parcel proposed for development.

The Commercial Mid-Rise Intensity land use designation allows a maximum FAR of 3.5 and height of 97 feet with architectural incentives. The Project will not exceed those parameters.

- c. Will not cause a decline in the level of service for public infrastructure to a level of service which is less than the minimum requirements of the Comprehensive Plan.

This Project will establish its concurrency compliance, and accordingly will not cause a decline in the level of service for public infrastructure to a level below that which is required by the Comprehensive Plan.

- d. Does not directly conflict with any objective or policy of the Comprehensive Plan.

This proposed project will not directly conflict with any known Comprehensive Plan policy or objective, and will further or implement several of them, as detailed below.

2. Will provide a benefit to the City in that it will achieve two or more of the following objectives:
  - a. Improve mobility by reducing vehicle miles traveled for residents within a one-half (1/2) mile radius by:
    - i. Balancing land uses in a manner that reduces vehicle miles traveled.

The proposed project will include ground floor retail uses which will be open to the public. This will allow building residents and neighbors to find needed goods and services within the project and the neighborhood rather than having to travel, probably by car, to obtain them, which will help reduce vehicle miles traveled in the vicinity of this site. The increased density in the project will also help achieve this goal by concentrating more residents in an urbanized area of the City.

- ii. Creating a mix of uses that creates an internal trip capture rate of greater than twenty (20%) percent.
- iii. Increasing the share of trips that use alternative modes of transportation, such as transit ridership, walking, or bicycle riding.

Higher urban densities such as will be facilitated by the Project support mass transit, and in fact make it feasible. Walking and bicycle use will be encouraged by the mix of residential and retail uses in the project, and by the provision of bike racks. The South Miami and University metro stations are within walking distance, and this area is also served by Miami-Dade County bus routes.

- b. Promote high-quality development or redevelopment in an area that is experiencing declining or flat property values.

The low-rise, low density residential building existing on the property is older and lacks amenities. The Project will be new and will feature an attractive mix of uses in a well-designed building, with a number of on-site amenities. This project represents a substantial new investment in the neighborhood which should help revitalize the area.

- c. Create affordable housing opportunities for people who live or work in the City of Coral Gables.

By increasing the amount of multifamily housing inventory available in this part of the City, it will be easier for young professionals to move into this part of the City.

- d. Implement specific objectives and policies of the Comprehensive Plan.

The Project will be consistent and not directly conflict with the goals, objectives or policies of the Comprehensive Plan. In accordance with Goal FLU-1, the Project will strengthen and enhance the City as a vibrant community with a mix of uses with a residential mid-rise tower and retail on the ground floor. Easy access to Riviera Park across the street provides neighbors, residents and visitors with a desirable place to work, live and play. The Project will also create an infill redevelopment project which will discourage urban sprawl and encourage the reuse of underutilized parcels in keeping with Objective FLU-1.7. The project will replace an older, underutilized residential apartment building with a beautifully designed mixed use development close to employment centers, shopping and recreational parks. Less than a block away from a Whole Foods grocery store and a few blocks away from Sunset Place, the Project promotes mixed use development by providing housing and commercial services near employment centers, thereby reducing the need to drive and encouraging walking instead of driving which is directly in line with Policy MOB 1.1.1.

3. Will not cause a substantial diminution of the market value of adjacent property or materially diminish the suitability of adjacent property for its existing or approved use.

The Project will add value to the neighborhood rather than diminish property values. It will represent a substantial and significant improvement to the area.

We respectfully submit that the proposed Comprehensive Plan Map Amendments comply with the applicable criteria as set forth in Section 3-1506 of the Zoning Code as follows:

1. Whether it specifically advances any objective or policy of the Comprehensive Plan.

As previously described, the Project advances several objectives and policies of the Comprehensive Plan. In addition, the Project will replace an older, underutilized residential apartment building with a beautiful Mediterranean designed mixed use development close to employment centers, shopping and recreational parks. Its high quality, creative design and compatible site planning will bring new energy and excitement to this area of the City while reaffirming George Merrick's original vision for the design, look and lifestyle of Coral Gables, in accordance with Objective DES-1.1.

2. Whether it is internally consistent with the Comprehensive Plan.

The Project is internally consistent with the Comprehensive Plan in the ways described above.

3. Its effect on the level of service of public infrastructure.

The Project meets or exceeds the level of service and satisfies concurrency. Additionally, the Project is designed as a pedestrian friendly development which encourages residents and visitors to leave their cars behind and walk to the nearby commercial and retail areas.

4. Its effect on environmental resources.

The Project will not have any adverse effect on environmental resources. The Property is an urban infill site which currently houses a two-story older apartment building and three-story condominium building.

5. Its effect on the availability of housing that is affordable to people who live or work in the City of Coral Gables.

As mentioned above, by increasing the multifamily residential options available in this part of the City, young families and professionals will now have a more affordable option to move into the City of Coral Gables as opposed to the standard Coral Gables single family home.

The Project will include a balance of mixed uses, housing and open space, which will promote pedestrian activity and provide for specific commitments to design excellence and long term economic and cultural vitality. Accordingly, we respectfully request your favorable consideration of this application and look forward to working with you on this project. If you have any questions, please do not hesitate to contact me at (305) 376-6061. Thank you for your attention to this matter.

Sincerely,



Mario Garcia-Serra

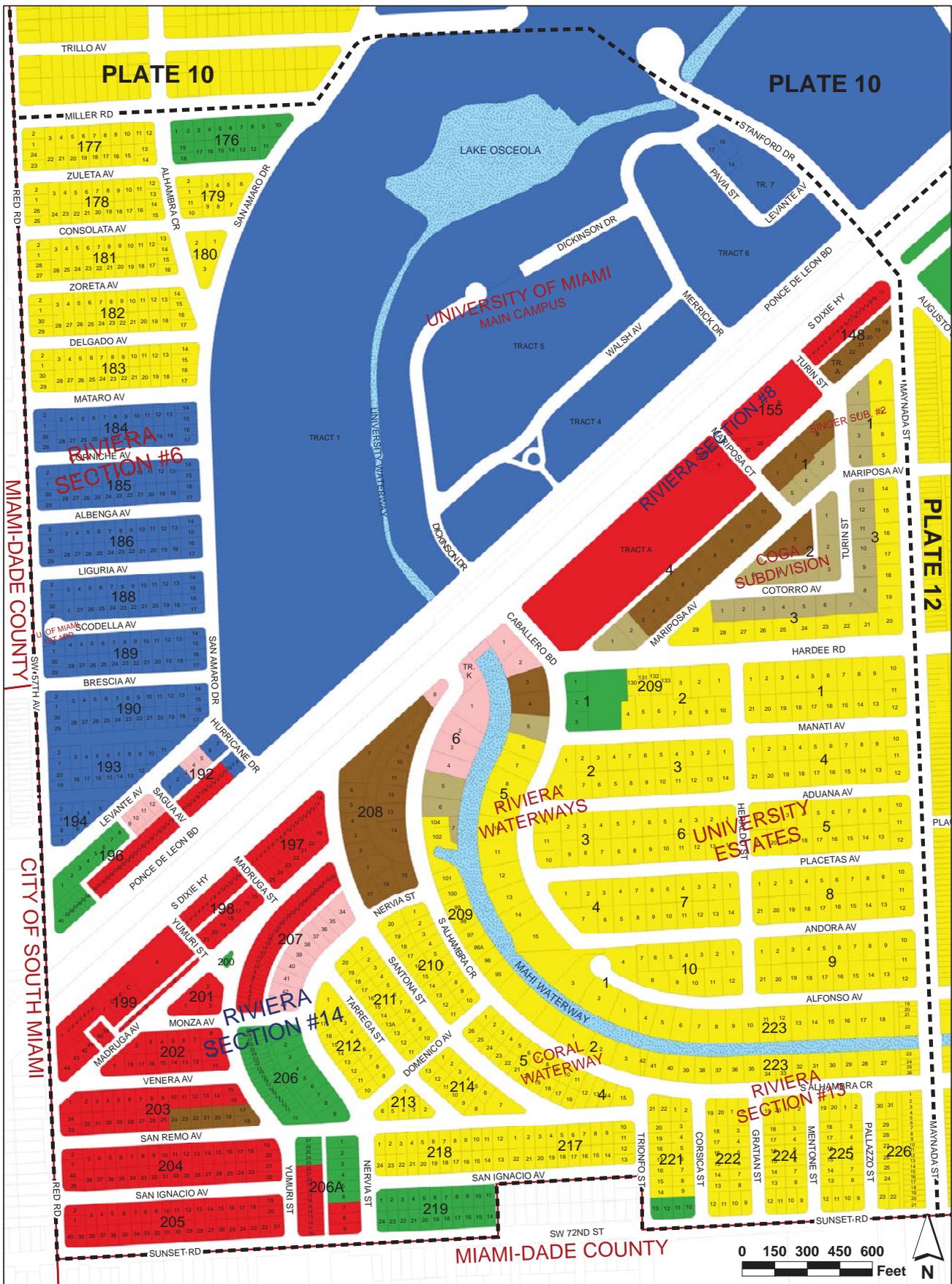
Enclosures

MIA\_ACTIVE 4490281.2

# Exhibit A



# Exhibit B



# Zoning Map

## Zoning Districts

- |   |  |
|---|--|
|  (SFR) Single-Family Residential District  |  (S) Special Use District         |
|  (MF1) Multi-Family 1 Duplex District      |  (P) Preservation District        |
|  (MF2) Multi-Family 2 District             |  (CL) Commercial Limited District |
|  (MFSA) Multi-Family Special Area District |  (C) Commercial District          |
|  (UCD) University Campus District          |  (I) Industrial District          |

# Plate

# 11 of 18

City of Coral Gables  
 Planning & Zoning Division  
 November 2014



Level

1

Review

# Development Review Committee Application

Address: 427 Biltmore Way, 2<sup>nd</sup> Floor, Coral Gables, Florida 33134

Email: [planning@coralgables.com](mailto:planning@coralgables.com)

Phone: 305.460.5211

## Preamble

The Development Review Committee (DRC) is an administrative and technical committee which reviews policy and technical issues raised by a development project. The DRC is intended to streamline and coordinate the review of the development process by identifying, addressing, providing input, advice and comments regarding all applicable provisions and regulations. The review of the projects and comments on development proposals by the DRC shall not be construed to be an approval of any project presented to the Committee.

## Application review request

The undersigned applicant(s)/agent(s)/property owner(s) request(s) Level One (1) Development Review Committee consideration and review for the following application(s) (please check all that apply):

- Abandonment and Vacations
- Comprehensive Plan Map Amendment - Small Scale
- Comprehensive Plan Map Amendment - Large Scale
- Comprehensive Plan Text Amendment
- Conditional Use with Site Plan
- Conditional Use without Site Plan
- Coral Gables Mediterranean Architectural Design Special Locational Site Plan
- Development Agreement
- Development of Regional Impact
- Development of Regional Impact - Notice of Proposed Change
- Mixed Use Site Plan
- Planned Area Development Designation and Site Plan
- Planned Area Development Major Amendment
- Separation/Establishment of a Building Site
- Site Plan
- Subdivision Review for a Tentative Plat and Variance
- Transfer of Development Rights Receiving Site Plan
- University Campus District Modification to the Adopted Campus Master Plan
- Zoning Code Map Amendment
- Zoning Code Text Amendment
- Other: \_\_\_\_\_

## Property information

Street address of the subject property: 1515 San Remo Avenue

Property/project name: 1500 Venera / 1515 San Remo



Level  
**1**  
Review

# Development Review Committee Application

Address: 427 Biltmore Way, 2<sup>nd</sup> Floor, Coral Gables, Florida 33134  
Email: [planning@coralgables.com](mailto:planning@coralgables.com) Phone: 305.460.5211

Current land use classification(s): Residential Multi-Family Medium Density

Current zoning classification(s): Multi-Family District (MF2)

Proposed land use classification(s) (if applicable): Commercial Mid-Rise Intensity

Proposed zoning classification(s) (if applicable): Commercial District (C)

Previous use(s)/current use(s) of the property/building(s): Mutli-Family Residential

Proposed use(s) of the property/building(s): Mixed Use (Retail/Residential)

Size of property (square feet/acres) 63,581 S.F. / 1.46 acres

Total non-residential (i.e, commercial, office, etc.) floor area (total square feet/FAR): 33,779 S.F.

Total number of residential units per acre and total number of unit's 117 units per acre / 172 units

Estimated cost of the existing/proposed building/project: \$36 million

Application(s) and date(s) of all previous City of Coral Gables submittals and type of actions related to existing/proposed building/project:

See below  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Project Legal Description: Lot(s): 17 through 24

Block(s): 203

Section(s): Coral Gables Riviera Section #14

Listing of all folio numbers for subject property:

03-4130-033-0001  
\_\_\_\_\_  
\_\_\_\_\_



City of  
Coral Gables,  
Florida

Level

**1**

Review

# Development Review Committee Application

Address: 427 Biltmore Way, 2<sup>nd</sup> Floor, Coral Gables, Florida 33134

Email: [planning@coralgables.com](mailto:planning@coralgables.com)

Phone: 305.460.5211

## General information

Applicant(s)/Agent(s) Name(s): Mario Garcia-Serra, Esq.

Telephone Contact No: 305-376-6061 Fax No. \_\_\_\_\_ Email mgarcia-serra @ gunster.com

Mailing Address: 600 Brickell Avenue, Suite 3500, Miami, FL 33131  
(City) (State) (ZIP Code)

Applicant

~~Property Owner(s) Name(s):~~ 1500 Coral Gables, LLC

Telephone Contact No: 305-471-4802 Fax No. \_\_\_\_\_ Email anibal @ tcoa.us

Mailing Address: 3470 NW 82nd Avenue, Suite 988, Doral, FL 33122  
(City) (State) (ZIP Code)

Applicant and

Property Owner(s) Name(s): Sunset Place Luxury Holdings, LLC

Telephone Contact No: 305-471-4802 Fax No. \_\_\_\_\_ Email anibal @ tcoa.us

Mailing Address: 3470 NW 82nd Avenue, Suite 988, Doral, FL 33122  
(City) (State) (ZIP Code)

Project Architect(s) Name(s): Raul Carreras, Bermello Ajamil & Partners, Inc.

Telephone Contact No: 786-470-3823 Fax No. \_\_\_\_\_ Email rcarreras @ bermelloajamil.com

Mailing Address: 2601 S. Bayshore Drive, Suite 1000, Miami, FL 33133  
(City) (State) (ZIP Code)

Provide the date(s) and type(s) of application(s) previously filed with the City of Coral Gables and type of reviews, approvals, actions related to this request:

A mixed use site plan for the property located at 1500 Venera Avenue was previously approved  
by City Commission on November 18, 2014.



Level

1

Review

# Development Review Committee Application

Address: 427 Biltmore Way, 2<sup>nd</sup> Floor, Coral Gables, Florida 33134

Email: [planning@coralgables.com](mailto:planning@coralgables.com)

Phone: 305.460.5211

## Application requirements and supporting information

Application submittal dates and meeting dates. Applications for the DRC shall be submitted in no later the first Friday of each month to be scheduled for the same monthly DRC meeting. DRC meetings are held the last Friday of each month, 9:30 a.m. City Commission Chambers, City Hall, 405 Biltmore Way, Coral Gables, Florida 33134. Applicants and/or agents shall be required to attend the meeting to present the application request and respond to City Staff questions. All applications shall be complete at time of submittal.

Preapplication Conference Requirements. A Pre-application Conference is required with the Planning and Zoning Division in advance of application submittal to determine the information necessary to be filed with the application(s). The City reserves the right to request additional information as necessary.

Application submittal (order of documents). The order of the documents for the application submittal shall be as follows (required documents will be determined at pre-application meeting):

- Table of Contents with page numbers identifying all below documents.
- DRC Application.
- Statement of use and/or cover letter.
- Aerial.
- Photographs of property, adjacent uses and/or streetscape.
- Property survey and legal description.
- Zoning chart and supporting information.
- Site Plan.
- Landscape plan and vegetation assessment.
- Tree survey and relocation plan.
- Architectural/building elevations.
- Building floor plans.
- Pedestrian amenities and streetscape plan.
- On-street parking analysis.
- Art in Public Places plan and/or statement.
- Lighting plan and signage plan.
- Underground utilities plan and/or statement.
- Ordinances, resolutions, covenants, development agreements, etc. previously granted for the property.
- Historical significance letter.
- City Concurrency Impact Statement (CIS).
- Traffic study.
- Name and contact information for property owner, applicant, architect, attorney, etc.
- City of Coral Gables Annual Registration Application and Issue Application Lobbyist forms.
- Warranty deed.
- Application fee equal to one tenth of one percent (.001) of the estimated total building construction cost as determined by the City (\$100.00 minimum fee and \$10,000.00 maximum fee). Payment shall be in check form, payable to the City of Coral Gables.
- Other: \_\_\_\_\_



Level

**1**

Review

# Development Review Committee Application

Address: 427 Biltmore Way, 2<sup>nd</sup> Floor, Coral Gables, Florida 33134

Email: [planning@coralgables.com](mailto:planning@coralgables.com)

Phone: 305.460.5211

Posting of the property. The City will post the subject property with a sign in accordance with the requirements of the Zoning Code indicating the DRC meeting date and location. The sign will be installed ten (10) days prior to the meeting and shall not be removed until after the meeting has been held, at which time it is the applicant's responsibility to remove the sign.

## Application submittal requirements

1. Hard copies. Three (3) hard copies of the entire application shall be submitted including all the items identified in the pre-application conference. Plans and drawings shall be in 11" x 17" format.
2. Electronic copy. One (1) PDF of the entire application shall be submitted including all items provided within the hard copies. The documents provided in the electronic copy shall be the same size (11" x 17" maximum for plans and drawings) and in the same order as the hard copy submittal. The total file size shall not exceed 30 MB.

## Applicant/agent/property owner/architect affirmation and consent

(I) (We) affirm and certify to all of the following:

1. Submission of the following:
  - a. Warranty deed/tax record as proof of ownership for all properties considered as a part of the application request; or
  - b. Authorized as the applicant(s)/agent(s) identified herein to file this application and act on behalf of all current property owner(s) and modify any valid City of Coral Gables entitlements in effect during the entire review process.
2. This request, application, application supporting materials and all future supporting materials complies with all provisions and regulations of the Zoning Code, Comprehensive Land Use Plan and Code of Ordinances of the City of Coral Gables unless identified and approved as a part of this application request or other previously approved applications. Applicant understands that any violation of these provisions renders the application invalid.
3. That all the information contained in this application and all documentation submitted herewith is true to the best of (my) (our) knowledge and belief.
4. Understand that the application, all attachments and fees become a part of the official records of the City of Coral Gables and are not returnable.
5. Failure to provide the information necessary pursuant to the established time frames included but not limited to application submittal, submission of revised documents, etc. for review by City Staff and the designated reviewing entity may cause application to be deferred without further review until such time the requested information is submitted.
6. All representatives of the application have registered with and completed lobbyist forms for the City of Coral Gables City Clerk's office.
7. Understand that under Florida Law, all the information submitted as part of the application are public records.
8. The subject property will be posted by the City in accordance with Zoning Code requirements. The sign shall be installed by the City ten (10) days prior to the meeting and shall not be removed until after the meeting, at which time it is the applicant's responsibility to remove the sign.
9. The application will not be heard unless the Applicant and/or agent is present at the DRC meeting.



Level  
**1**  
Review

# Development Review Committee Application

Address: 427 Biltmore Way, 2<sup>nd</sup> Floor, Coral Gables, Florida 33134  
Email: [planning@coralgables.com](mailto:planning@coralgables.com) Phone: 305.460.5211

Applicant(s)/Agent(s) Signature: 	Applicant(s)/Agent(s) Print Name: Mario Garcia-Serra, Esq.
---	---

Address: 600 Brickell Avenue, Suite 3500, Miami, FL 33131

Telephone: 305-376-6061	Fax:
-------------------------	------

Email: [mgarcia-serra@gunster.com](mailto:mgarcia-serra@gunster.com)

### NOTARIZATION

STATE OF FLORIDA/COUNTY OF

The foregoing instrument was acknowledged before me this 21 day of July by Mario Garcia-Serra  
(Signature of Notary Public - State of Florida)



(Print, Type or Stamp Commissioned Name of Notary Public)

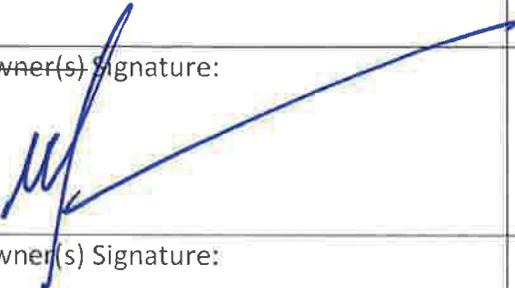
Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_



Level  
**1**  
Review

# Development Review Committee Application

Address: 427 Biltmore Way, 2<sup>nd</sup> Floor, Coral Gables, Florida 33134  
Email: [planning@coralgables.com](mailto:planning@coralgables.com) Phone: 305.460.5211

Property Owner(s) Signature:	Property Owner(s) Print Name: Masoud Shojaee for Sunset Place Luxury Holdings, LLC
Property Owner(s) Signature: Applicant 	Property Owner(s) Print Name: Applicant Masoud Shojaee for San Remo 1500, LLC 1500 Coral Gables, LLC
Property Owner(s) Signature: Please see Owner Consent Form attached	Property Owner(s) Print Name: <del>XXXXXXXXXX</del> Edgar Jones, President Villa San Remo Condominium Association, Inc.

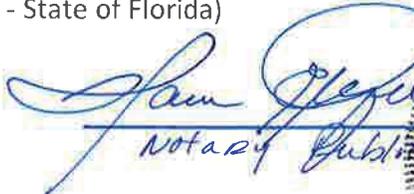
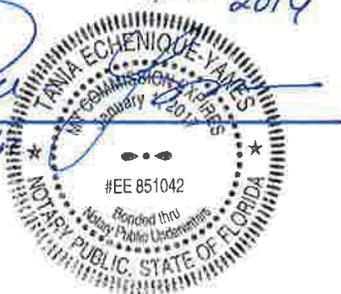
Address: 3470 NW 82nd Avenue, Suite 988, Doral, FL 33122

Telephone: 305-471-4802 Fax:

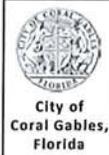
Email: [anibal@tcoa.us](mailto:anibal@tcoa.us)

### NOTARIZATION

STATE OF FLORIDA/COUNTY OF Miami-Dade 8<sup>th</sup> day of September by Masoud Shojaee  
The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ 2014  
(Signature of Notary Public - State of Florida)

  
Notary Public  


(Print, Type or Stamp Commissioned Name of Notary Public)  
 Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_



Level  
**1**  
Review

# Development Review Committee Application

Address: 427 Biltmore Way, 2<sup>nd</sup> Floor, Coral Gables, Florida 33134  
 Email: [planning@coralgables.com](mailto:planning@coralgables.com) Phone: 305.460.5211

Architect(s) Signature:

Architect(s) Print Name:

Raul Carreras

Address: 2601 S. Bayshore Drive, Suite 1000, Miami, FL 33133

Telephone: 786-470-3823

Fax:

Email: [rcarreras@bermelloajamil.com](mailto:rcarreras@bermelloajamil.com)



SEAL

## NOTARIZATION

STATE OF FLORIDA/COUNTY OF MIAMI-DADE

The foregoing instrument was acknowledged before me this 20 day of JULY by RAUL CARRERAS

(Signature of Notary Public - State of Florida)



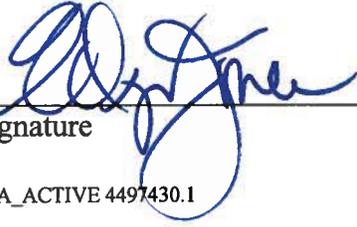
(Print, Type or Stamp Commissioned Name of Notary Public)

Personally Known OR  Produced Identification; Type of Identification Produced \_\_\_\_\_

**Owner Consent Form**

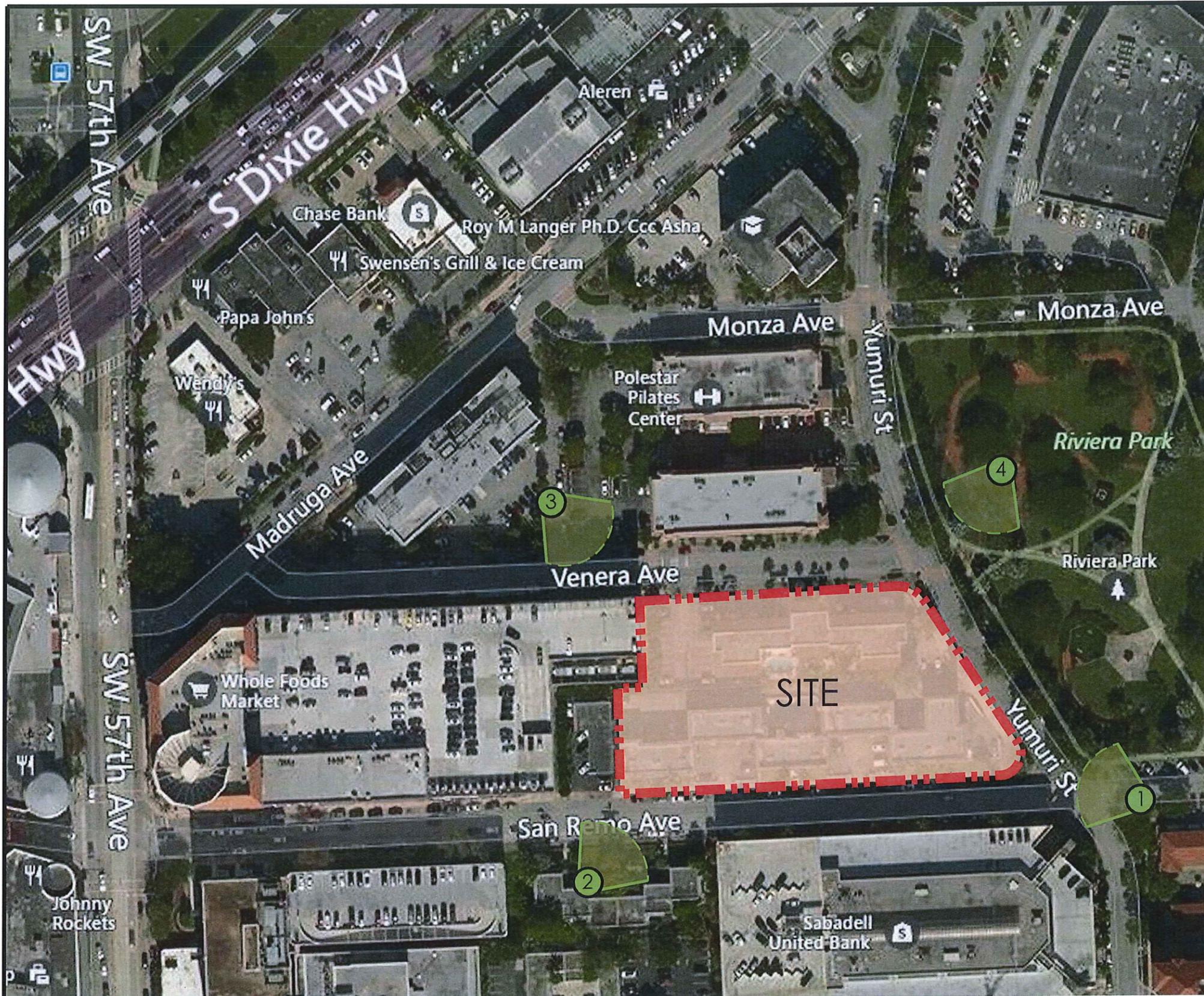
To whom it may concern:

This is to certify that I, Edgar Jones as President of the Villa San Remo Condominium Association, hereby authorize 1500 Coral Gables, LLC to submit the necessary development review applications and act as the Applicant in all Development Review Committee, Planning and Zoning Board, Board of Architects, and City Commission hearings and other submittals and hearings required in connection with the proposed redevelopment of the condominium building property located at 1515 San Remo Avenue.

  
\_\_\_\_\_  
Signature

9/8/16  
\_\_\_\_\_  
Date

MIA\_ACTIVE 4497430.1



AERIAL LOCATION



Bermello Ajamil & Partners, Inc.  
 2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
 MIAMI, FL 33133  
 P: (305) 859-2050  
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VENERA

1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146  
 CORAL GABLES, FL

SHOMA

08-05-2016

AERIAL  
 LOCATION



①



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SITE PHOTOS





# Program Analysis Venera

6/17/2016

1500 Venera Ave, 33146, Folio 03-4130-009-1040

Property	C (Commercial District)
Property Size	29,900sf .686 acres
Floor Lot Ratio	3.0 or 3.5 with architectural incentives.
Total Development by Right	(FAR 3.0) = 89,700sf (FAR of 3.5) = 104,650sf
Principal Height	Up to 70' max or 97' with architectural incentives
Maximum Height Allowed:	70'0" if Mediterreanean Style = 97'-0"
Maximum Units Allowed for Property:	

Setbacks:	<b>Front:</b> 15ft in height - 0' setback Above 15' in height - 10' setback
	<b>Side:</b> interior side: Under 45' in height 0'0" setback Above 45' in height 15'-0" + 1'-0" setback for each 3 feet of height
	<b>Rear:</b> Abutting street or alley - 0'-0" NOT abutting steet - 10'0"  Balconies: max 6'0" over setback

1515 San Remo Avenue, 33146, Folio 03-4130-033-0001

Property	MF2 (Multi-Family District)
Property Size	42,606 sf .978 acres

1500 Venera Ave, 33146, Folio 03-4130-009-1040  
1515 San Remo Avenue, 33146, Folio 03-4130-033-0001

Property	MXD (Mixed Use District)
Property Size	72,373.63sf 1.66 acres
Floor Lot Ratio	Up to 3.5 with Mediterranean architecture
Total Development by Right	253,307sf
Principal Height	Up to 97'-0"
Maximum Height Allowed:	Up to 97'-0"
Density	Max 125/acres
Maximum Units Allowed for Property:	207.5 units by right

Setbacks:	<b>Front:</b> 45ft in height - 0' setback Above 45ft - 10'-0"
	<b>Side:</b> Interior side - none Side street - 15'-0"
	<b>Rear:</b> Abutting an alley or street - none NOT abutting street - 10'-0"  Balconies: max 6'0" over setback

### PARKING REQUIREMENTS

<b>RESIDENTIAL</b>	1 bed = 1 Per City 1 bed = 1 space
	2 beds = 1.75
	3 beds = 2.25 spaces
<b>RETAIL</b>	1 per 250sf Per City 1 PER 300SF

## PROGRAM ANALYSIS

UNIT MATRIX	# PER LEVEL	# LEVELS	TOTAL #	SF PER LEVEL	TOTAL S.F.	
GROUND LEVEL 2 BEDROOM		7	1	7	8,400	8,400
5TH-9TH LEVEL 1 BEDROOM	16	5	80	12,146	60,730	
2 BEDROOM	13	5	65	14,926	74,630	
3 BEDROOM	4	5	20	5,553	27,765	
<b>TOTAL</b>			<b>172</b>		<b>171,525</b>	

RETAIL AREA GROUND LEVEL	30,025
<b>GRAND TOTAL</b>	<b>201,550</b>

FAR	AREA	#LEVELS	GROSS AREA
GROUND FLOOR			42,380
2ND FLOOR	649	1	649
3RD TO 4TH FLOOR	3,863	2	7,726
5TH TO 9TH FLOOR	39,913	5	199,565
<b>TOTAL GROSS AREA</b>			<b>250,320</b>
<b>ALLOWABLE FAR</b>			<b>253,307</b>
<b>DELTA</b>			<b>-2,987</b>

PARKING	REQ RATIO	#OF UNITS	AREA	REQ PARK
1 BEDROOM	1	80		80
2 BEDROOM	1.75	72		126
3 BEDROOM	2.25	20		45
RETAIL	1 PER 300SF		30,025	100
<b>TOTAL PARKING REQUIRED</b>				<b>351</b>
<b>TOTAL PARKING PROVIDED</b>				<b>378</b>
<b>* ADA PARKING TO BE ADDED PER RETAIL AREA</b>				<b>DELTA 27</b>

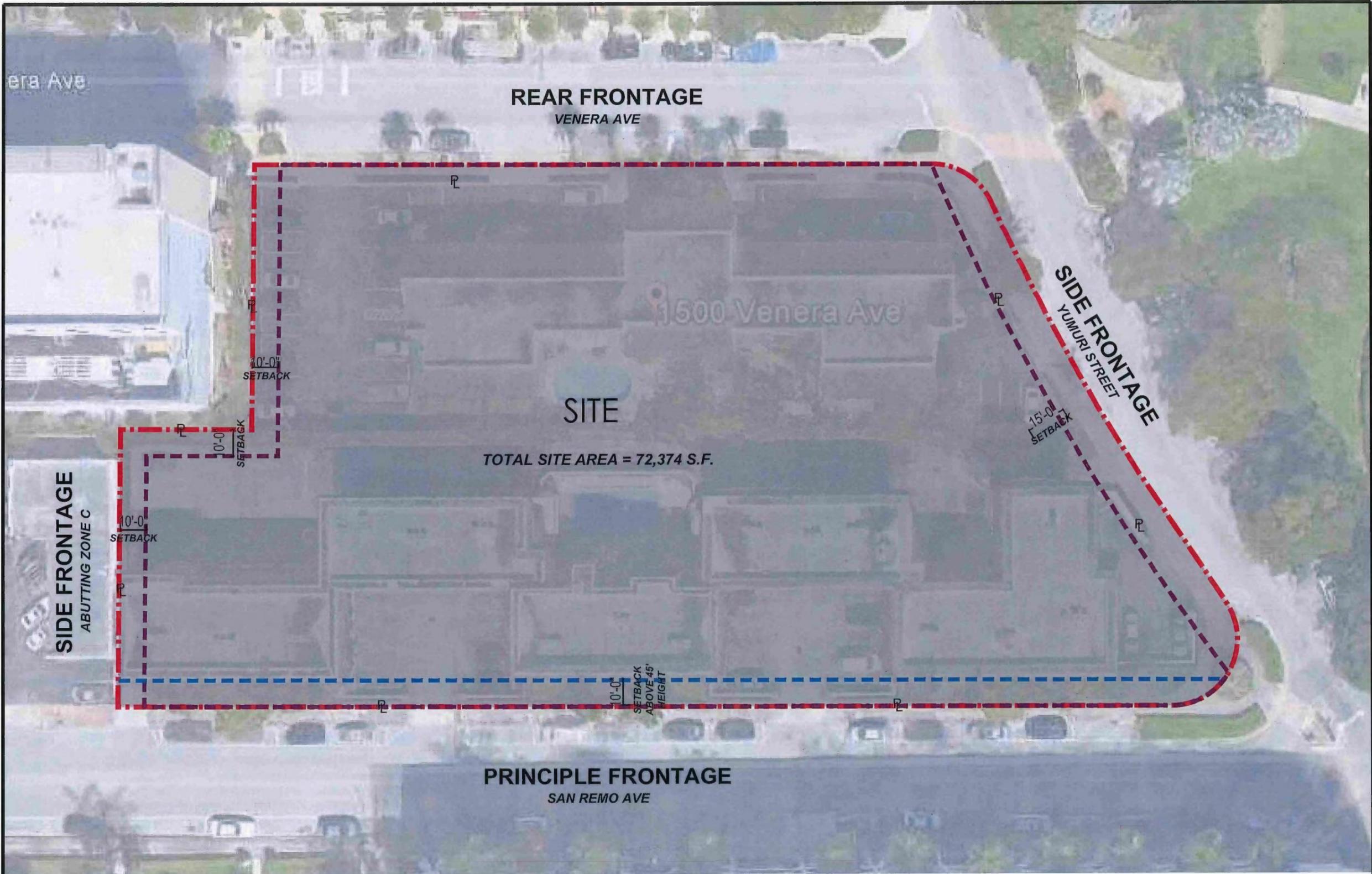


### Zoning Map

Zoning Districts	Land Use Classifications
(SFR) Single-Family Residential District	Residential Single-Family Low Density (8 Units/Acre)
(MF1) Multi-Family 1 Duplex District	Residential Single-Family High Density (8 Units/Acre)
(MF2) Multi-Family 2 District	Residential Multi-Family Duplex Density (8 Units/Acre)
(MFA) Multi-Family Special Area District	Residential Multi-Family Low Density (50 Feet; 20 Units/Acre)
(UCD) University Campus District	Residential Multi-Family Medium Density (70 Feet; 40 Units/Acre)
(S) Special Use District	Residential Multi-Family High Density (150 Feet; 60 Units/Acre)
(P) Preservation District	Commercial Low-Rise Intensity (50 Feet; 3.0 F.A.R.)
(CL) Commercial Limited District	Commercial Mid-Rise Intensity (70 Feet; 3.0 F.A.R.)
(C) Commercial District	Commercial High-Rise Intensity (150 Feet; 3.0 F.A.R.)
(I) Industrial District	Industrial

### Future Land Use Map

Land Use Classifications	Other Land Use Classifications
University Campus	Conservation Areas
University Campus Multi-Use Area	Public Buildings and Grounds
Education	Hospital
Parks and Recreation	Religious/Institutional
Open Space	Community Services and Facilities



SETBACKS/ANALYSIS

LEGEND:

- PROPERTY LINE
- SETBACKS
- SETBACKS ABOVE 45'



VENERA

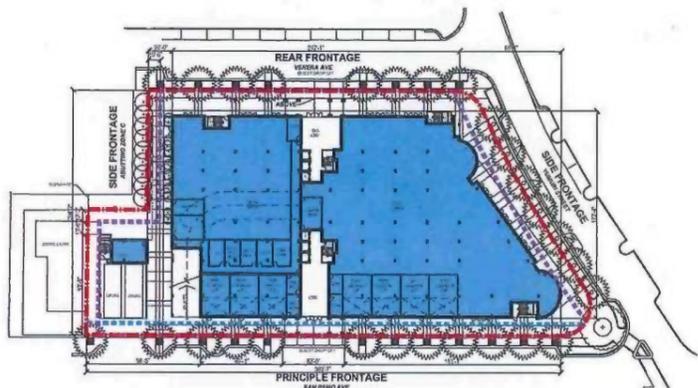
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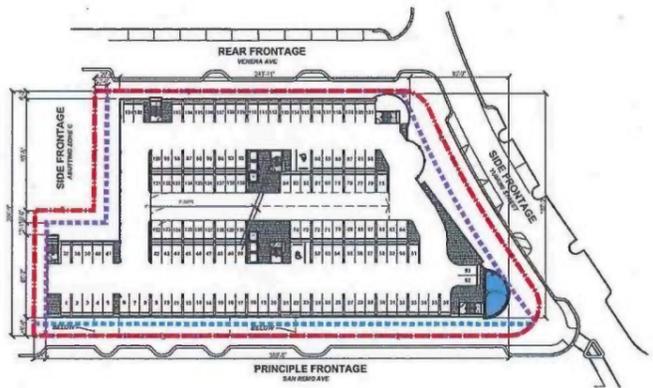
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SETBACKS

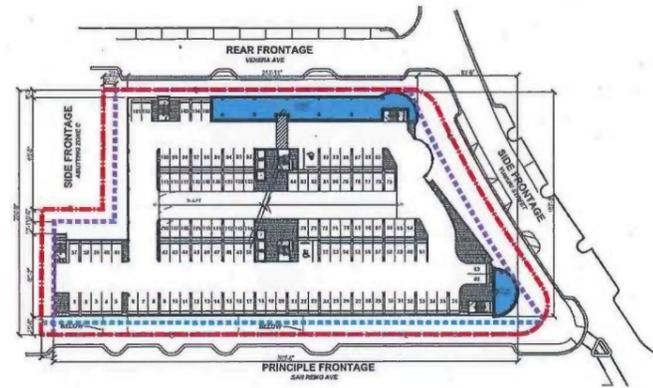
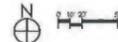
A-5.5



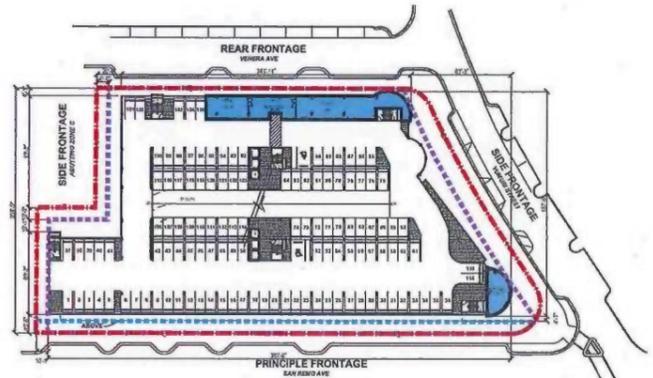
GROUND FLOOR  
FAR = 42,380 SF



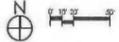
2ND FLOOR  
FAR = 649 SF



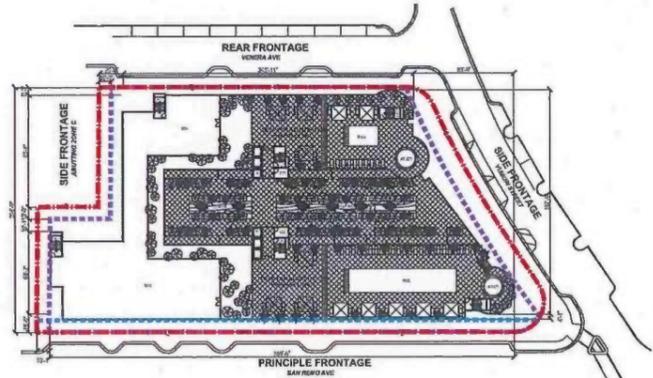
3RD FLOOR  
FAR = 3,863 SF



4TH FLOOR  
FAR = 3,863 SF



5TH-9TH FLOOR  
FAR = 39,913 SF \*5  
= 199,565 SF



ROOF  
FAR = 0 SF



FAR PLANS  
SCALE: 1/64" = 1'-0

TOTAL FAR = 42,380 + 649 + 3,863 + 3,863 + 199,565 + 0 = 250,320 SF

LEGEND:

- PROPERTY LINE
- SETBACKS
- SETBACKS ABOVE 45'
- FAR

VENERA

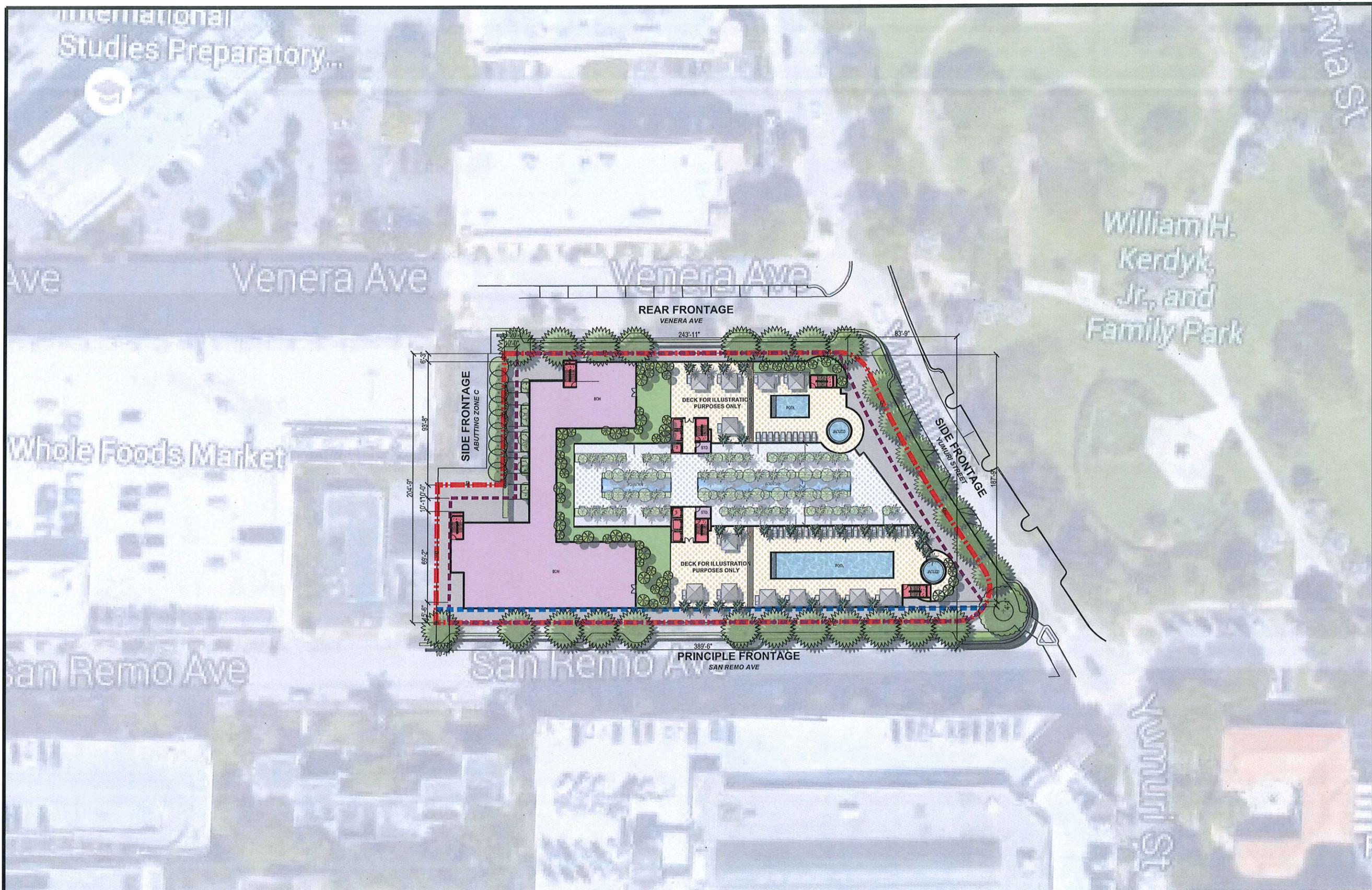
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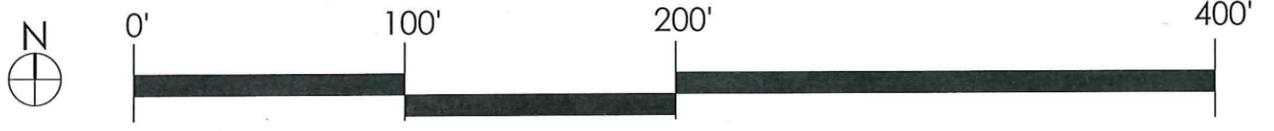
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FAR PLANS

A-5.6



SITE PLAN

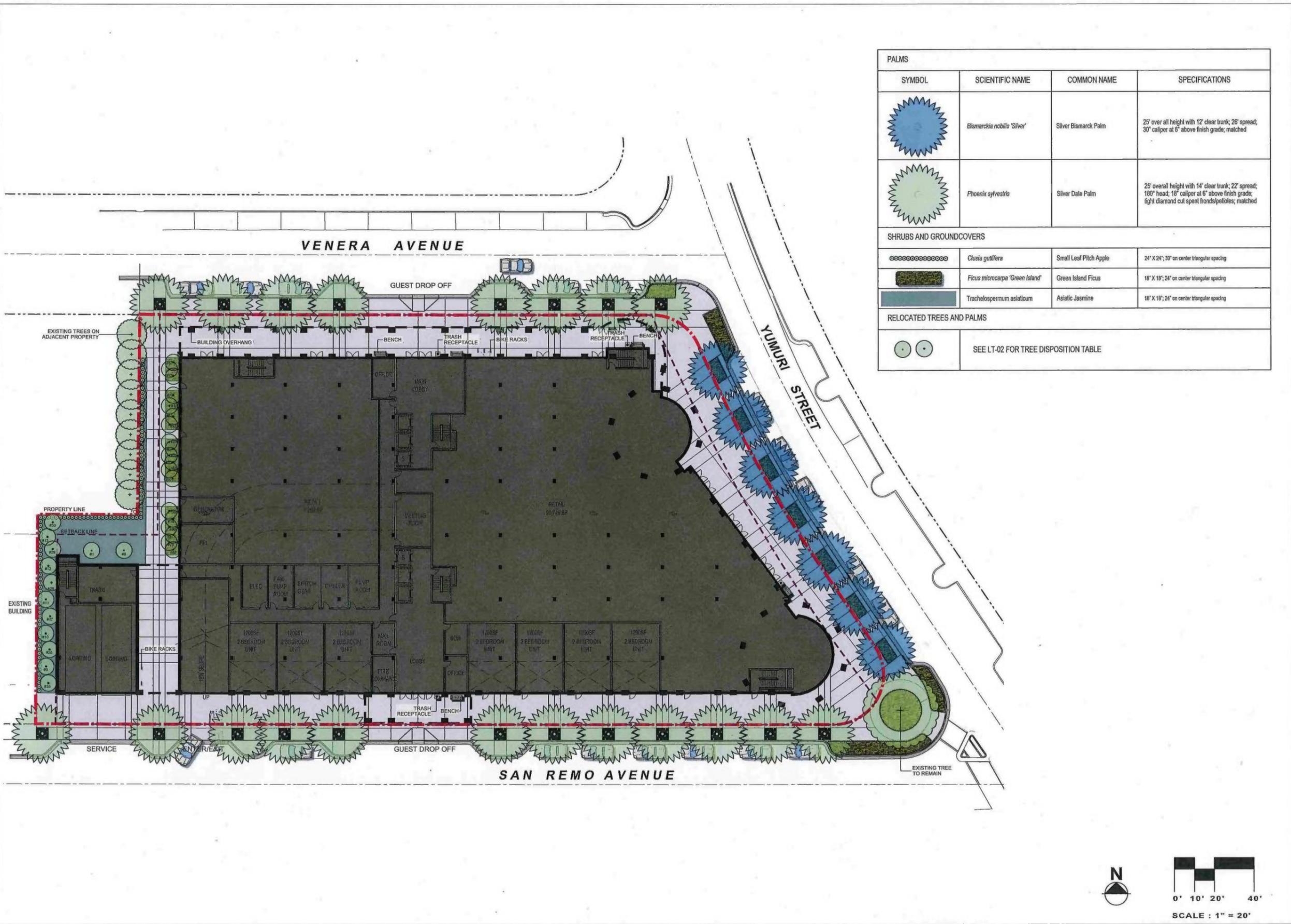


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**SHOMA**  
 08-05-2016

SITE PLAN

**A-3**



PALMS			
SYMBOL	SCIENTIFIC NAME	COMMON NAME	SPECIFICATIONS
	<i>Bismarckia nobilis</i> 'Silver'	Silver Bismarck Palm	25' over all height with 12' clear trunk; 26' spread; 30" caliper at 6" above finish grade; matched
	<i>Phoenix sylvestris</i>	Silver Date Palm	25' overall height with 14' clear trunk; 22' spread; 180" head; 18" caliper at 6" above finish grade; light diamond cut spent fronds/petioles; matched
SHRUBS AND GROUNDCOVERS			
	<i>Clusia guttifera</i>	Small Leaf Pilipl Apple	24" X 24"; 30" on center triangular spacing
	<i>Ficus microcarpa</i> 'Green Island'	Green Island Ficus	18" X 18"; 24" on center triangular spacing
	<i>Trachelospermum asiaticum</i>	Asiatic Jasmine	18" X 18"; 24" on center triangular spacing
RELOCATED TREES AND PALMS			
	SEE LT-02 FOR TREE DISPOSITION TABLE		



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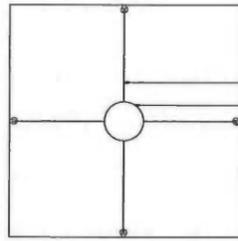
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LANDSCAPE PLAN

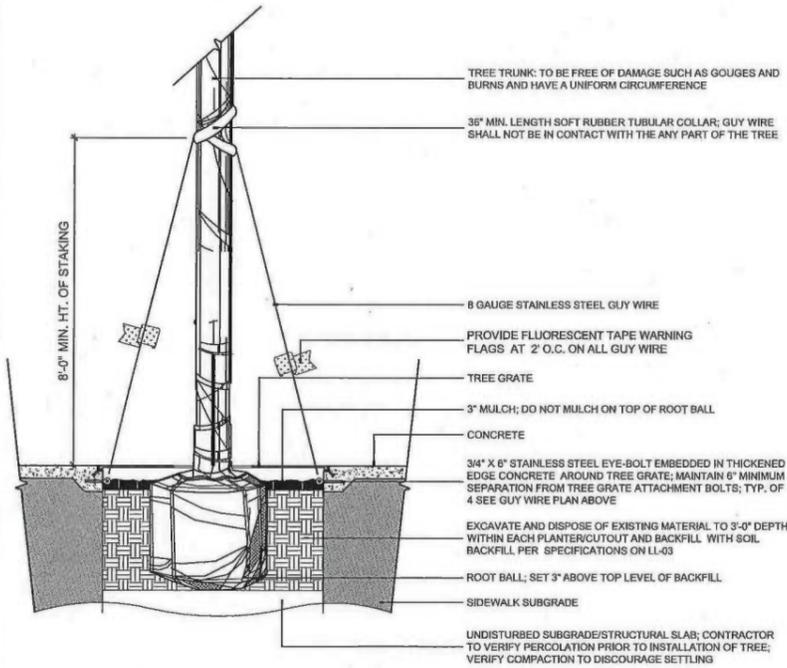
LL-01



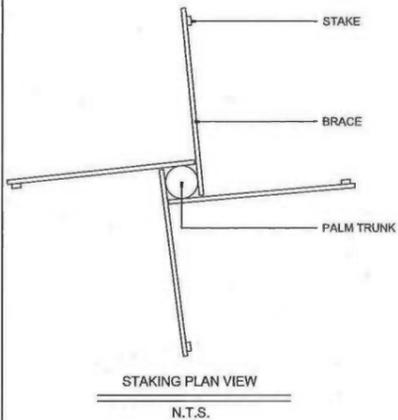
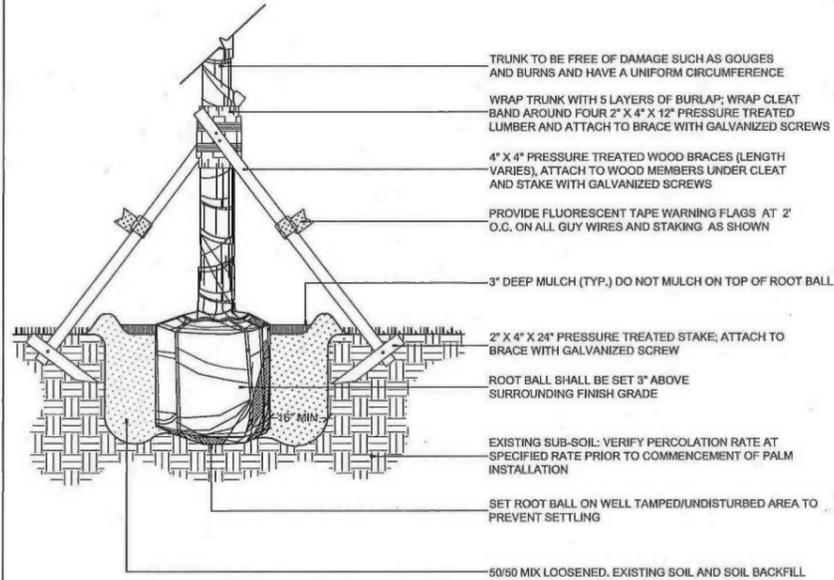


GUY WIRE STAKING PLAN VIEW  
N.T.S.

- PLANT INSTALLATION NOTES:**
1. ALL PLANTING AREAS AND PLANTING PITS SHALL BE TESTED FOR SUFFICIENT PERCOLATION (AT A RATE OF 1" OF STANDING WATER IN 10 MINUTES) PRIOR TO INSTALLATION OF PLANT MATERIAL TO ENSURE SUFFICIENT DRAINAGE. IF INSUFFICIENT DRAINAGE IS IDENTIFIED, CONTRACTOR SHALL EXCAVATE UNTIL POSITIVE DRAINAGE IS ACHIEVED.
  2. ALL SYNTHETIC BURLAP, STRING, CORDS OR WIRE BASKETS SHALL BE REMOVED BEFORE TREES ARE PLANTED, WITHOUT BREAKING THE SOIL BALL. ALL SYNTHETIC TAPE SHALL BE REMOVED FROM BRANCHES AND TRUNKS PRIOR TO FINAL ACCEPTANCE. THE TOP 1/3 OF NATURAL BURLAP SHALL BE REMOVED, AFTER THE TREE IS SET IN THE PLANTING HOLE AND BEFORE THE TREES ARE BACKFILLED.

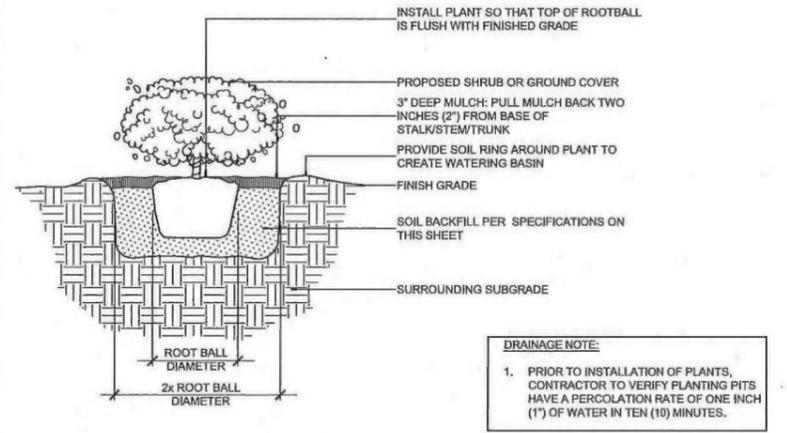


1 TREE IN GRATE INSTALLATION DETAIL  
LL-02 SCALE: 1/2" = 1'-0"



3 TREE AND PALM INSTALLATION DETAIL  
LL-02 SCALE: 1/2" = 1'-0"

- INSTALLATION NOTES:**
1. ALL PLANTING AREAS AND PLANTING PITS SHALL BE TESTED FOR SUFFICIENT PERCOLATION (AT A RATE OF 1" OF STANDING WATER IN 10 MINUTES) PRIOR TO INSTALLATION OF PLANT MATERIAL TO ENSURE SUFFICIENT DRAINAGE.
  2. PLANT BEDS IN PARKING LOTS AND IN AREAS COMPACTED BY EQUIPMENT AND MACHINERY SHALL BE LOOSENEED SO THAT THE SPECIFIED DRAINAGE/PERCOLATION RATE IS ACHIEVED.
  3. ALL SYNTHETIC BURLAP, STRING, CORDS OR WIRE BASKETS SHALL BE REMOVED BEFORE TREES ARE PLANTED, WITHOUT BREAKING THE SOIL BALL. ALL SYNTHETIC TAPE SHALL BE REMOVED FROM BRANCHES AND TRUNKS PRIOR TO FINAL ACCEPTANCE. THE TOP 1/3 OF NATURAL BURLAP SHALL BE REMOVED, AFTER THE TREE IS SET IN THE PLANTING HOLE AND BEFORE THE TREES ARE BACKFILLED.



2 SHRUB INSTALLATION DETAIL  
LL-02 SCALE: 1/2" = 1'-0"



4  
LL-02 SCALE:



5  
LL-02 SCALE:

1. CONTRACTOR SHALL GUARANTEE THAT ALL PLANT MATERIAL SHALL SURVIVE FOR A PERIOD OF ONE YEAR FROM THE DATE OF FINAL ACCEPTANCE.
2. CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND WATERING OF PLANT MATERIAL UNTIL FINAL ACCEPTANCE.
3. IF NECESSARY FOR PLANT VIGOR, THE CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION.
4. CONTRACTOR SHALL SUBMIT WRITTEN MAINTENANCE PLAN FOR ESTABLISHMENT PERIOD (FROM FINAL ACCEPTANCE TO END OF ONE-YEAR GROW-IN PERIOD) INCLUDING WATERING SCHEDULE, TEMPORARY IRRIGATION, FERTILIZATION SCHEDULE, PRUNING ETC. TO OWNER'S REPRESENTATIVE.
5. LOCATION OF ALL UTILITIES AND BASE INFORMATION IS APPROXIMATE. CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES AND OBSTRUCTIONS AND COORDINATE WITH THE OWNER'S REPRESENTATIVE PRIOR TO INITIATING INSTALLATION WORK. CONTRACTOR SHALL BE SOLELY RESPONSIBLE TO REPAIR OR REPLACE ANY DAMAGE COMMITTED TO EXISTING ELEMENTS ABOVE OR BELOW GROUND TO ITS ORIGINAL CONDITION AND TO THE SATISFACTION OF THE OWNER'S REPRESENTATIVE.
6. CONTRACTOR SHALL FIELD ADJUST LOCATION OF PLANT MATERIAL AS NECESSARY TO AVOID DAMAGE TO EXISTING UNDERGROUND UTILITIES AND/OR EXISTING ABOVE GROUND ELEMENTS. ALL CHANGES REQUIRED SHALL BE COORDINATED WITH THE OWNER'S REPRESENTATIVE.
7. CONTRACTOR SHALL FIELD STAKE THE LOCATION OF ALL PLANT MATERIAL PRIOR TO INITIATING INSTALLATION FOR THE REVIEW AND APPROVAL BY THE OWNER'S REPRESENTATIVE.
8. CONTRACTOR SHALL CLEAN THE WORK AREAS AT THE END OF EACH WORKING DAY. RUBBISH AND DEBRIS SHALL BE COLLECTED AND DISPOSED OF, AS DIRECTED, DAILY. ALL MATERIALS, PRODUCTS, AND EQUIPMENT SHALL BE STORED IN AN ORGANIZED FASHION AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
9. ALL PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS" PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES.
10. ONCE PLANT MATERIAL IS INSTALLED, IF SURFACE DRAINAGE PROBLEMS EXIST IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ALL PLANTS IF NEEDED REGRADE AREA AND REPLANT AT NO EXTRA COST TO THE OWNER.
11. ALL NOTED CONTAINERS SIZES ARE MINIMUM. INCREASE CONTAINER SIZE IF NECESSARY TO PROVIDE PLANT HEIGHT AND WIDTH SIZE AND SPECIFICATIONS. ALL HEIGHT AND SPREAD SPECIFICATIONS ARE MINIMUM.
12. SHRUB AND GROUND COVER BED QUANTITIES ARE INDICATED FOR EACH PLANT BED.
13. SHRUB AND GROUND COVER SPACING IS INDICATED ON THE PLANT LIST, UNDER "SPACING" AND SHOWN ON THE PLANS AS A MASS BED. TREES, HEDGES AND ACCENT PLANTS ARE INDICATED ON THE PLANT LIST AS "AS SHOWN" AND ARE SHOWN ON THE PLAN AS INDIVIDUAL SYMBOLS.
14. PALM HEIGHTS AS INDICATED ON THE PLANS REFER TO "CLEAR TRUNK" HEIGHTS, UNLESS OTHERWISE NOTED AS "OA" (OVERALL HEIGHT), OR "GW" (GRAY WOOD).
15. CONTRACTOR SHALL MULCH ALL NEW PLANT MATERIAL THROUGHOUT AND COMPLETELY TO DEPTH SPECIFIED.
16. ANY SUBSTITUTIONS IN SIZE AND/OR PLANT MATERIAL MUST BE APPROVED BY THE OWNER'S REPRESENTATIVE. ALL PLANTS WILL BE SUBJECT TO APPROVAL BY OWNER'S REPRESENTATIVE BEFORE PLANTING CAN BEGIN.
17. CONTRACTOR SHALL COORDINATE ALL PLANTING WORK WITH IRRIGATION WORK. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL HAND WATERING TO SUPPLEMENT IRRIGATION WATERING AND RAINFALL. CONTRACTOR SHALL BE RESPONSIBLE FOR HAND WATERING IN ALL PLANTING AREAS, REGARDLESS OF THE STATUS OF EXISTING OR PROPOSED IRRIGATION.
18. PLANS FOR A FULL COVERAGE 50% OVERLAP IRRIGATION SYSTEM SHALL BE PROVIDED AT TIME OF BUILDING DEPARTMENT PERMITTING.

SITE DATA			
Zoning/Land Use:	Mixed Use		
Net Lot Area:	1.86 Acres (72,374 Sq. Ft.)		
Open Space (non-paved area):	N/A		
LANDSCAPE REQUIREMENTS & CALCULATIONS			
TREES	Calculations	Trees Required	Trees Provided
28 trees per net lot area	28 / 1.86 =	47	0
		Relocated Trees	32
		Total Trees Provided	32
STREET TREES			
	Calculations	Street Trees Required	Street Trees Provided
Palms provided at average maximum spacing of 25' on center. LF of project = 915'	915' / 25' =	37	27
SHRUBS			
	Calculations	Shrubs Required	Shrubs Provided
10 shrubs per required tree	10 x 47 =	470	590
SOD			
	Calculations	Required	Provided
Sod	N/A	N/A	N/A

**1** LANDSCAPE NOTES  
LL-03 SCALE: N/A

**2** SOIL BACKFILL SPECIFICATIONS  
LL-03 SCALE: N/A

1. SOIL BACKFILL SHALL BE NATURAL SURFACE SOIL FROM WELL-DRAINED AREAS, FERTILE, FRABLE AND FREE OF WEEDS AND TYPICAL OF PRODUCTIVE, CULTIVATED TOPSOIL; POSSESSING CHARACTERISTICS REPRESENTATIVE OF A WELL-DRAINED AREA IN FLORIDA.
2. SOIL CONTAINING MUCK OR POORLY-DRAINED SOILS SHALL NOT BE USED.
3. SOIL BACKFILL SHALL NOT BE EXCESSIVELY ACID OR ALKALINE (PH 5.5 TO 7.0), NOR CONTAINING TOXIC SUBSTANCES SUCH AS LEAD OR MERCURY.
4. SOIL BACKFILL SHALL BE REASONABLY FREE OF CLAY, STONES, STICKS, STUMPS, ROOTS, OR OTHER SIMILAR SUBSTANCES ONE-QUARTER-INCH (1/4") OR MORE IN DIAMETER OR ANY OTHER OBJECT WHICH MAY BE A HINDRANCE TO THE FINISH-GRADING OPERATION OR DETRIMENTAL OR INJURIOUS TO PLANTS. PARTICULAR CARE SHOULD BE TAKEN TO REMOVE PIECES OF MORTAR, CEMENT, WOOD, ROAD ROCK, LIME ROCK CHUNKS AND OTHER SIMILAR REMAINS OF CONSTRUCTION FROM ALL PLANTING AREAS.
5. SOIL BACKFILL SHALL BE AS FOLLOWS: 1/3 TOPSOIL (AS DESCRIBED ABOVE), 1/3 FLORIDA PEAT, AND 1/3 CLEAN D.O.T. SAND.
6. PRIOR TO INSTALLATION OF PLANT MATERIAL, CONTRACTOR SHALL WATER-IN IMPORTED SOIL BACKFILL TO 2'-0" DEPTH TO REMOVE ALL AIR POCKETS. CONTRACTOR SHALL PERFORM THIS TASK TWICE, TWO WEEKS APART. MECHANICAL COMPACTION OF PLANTING AREAS, WHERE LIVING SPECIES ARE TO BE LOCATED, IS PROHIBITED.
7. PRIOR TO INSTALLATION OF PLANT MATERIAL IN PLANTERS (AREAS SURROUNDED BY CONCRETE OR PAVEMENT), ALL MATERIAL SHALL BE REMOVED TO 3'-0" DEPTH AND BACKFILLED WITH "SOIL BACKFILL".

**2** SOIL BACKFILL SPECIFICATIONS  
LL-03 SCALE: N/A

**6**  
LL-03 SCALE:



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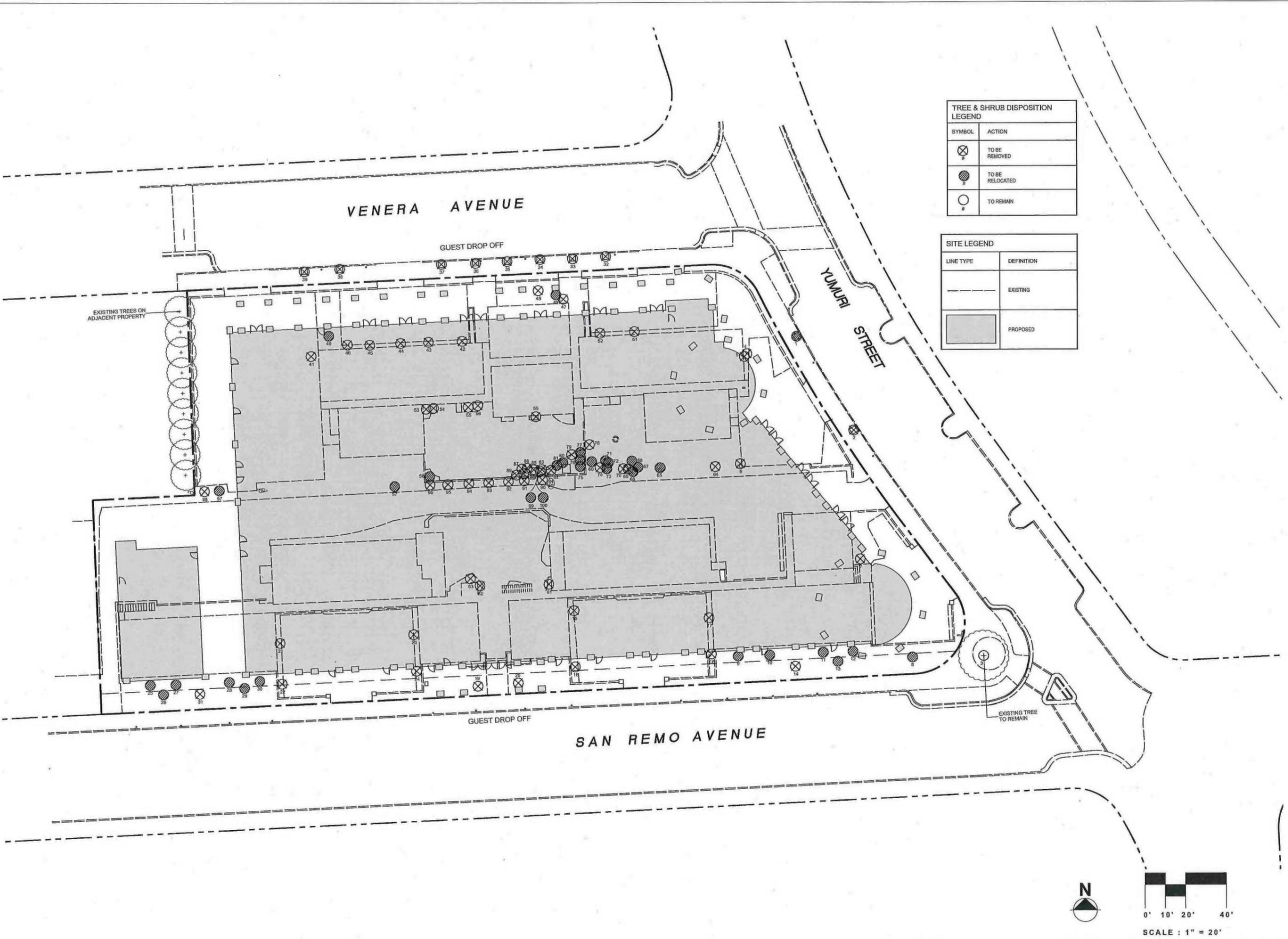
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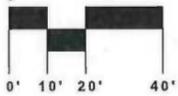
TREE  
DISPOSITION  
PLAN

LT-01



TREE & SHRUB DISPOSITION LEGEND	
SYMBOL	ACTION
⊗	TO BE REMOVED
⊙	TO BE RELOCATED
○	TO REMAIN

SITE LEGEND	
LINE TYPE	DEFINITION
---	EXISTING
▭	PROPOSED



SCALE : 1" = 20'

NAME	SCIENTIFIC NAME	COMMON NAME	CONDITION	DISPOSITION	HEIGHT (FT.)	SPREAD (FT.)	COMMENTS	AREA OF CANOPY REMOVED (SQ. FT.)
1	<i>Swietenia mahagoni</i>	Mahogany		RELOCATE	25	25		-
2	<i>Swietenia mahagoni</i>	Mahogany	POOR/POOR STRUCTURE	REMOVE	15	15		176.63
3	<i>Ceiba speciosa</i>	Floss Silk		REMAIN	48	25		-
4	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	10	10		78.50
5	<i>Schefflera actinophylla</i>	Schefflera		REMOVE	25	15	INVASIVE	-
6	<i>Ficus aurea/Sabal Palmetto</i>	Strangler/Cabbage Clump		REMOVE	30	20		314.00
7	<i>Adonidia merrillii</i>	Double Adonidia		REMOVE	25	15		176.63
8	<i>Quercus virginiana</i>	Live Oak		RELOCATE	25	25		-
9	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	8		-
10	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	8		-
11	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	8		-
12	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	8		-
13	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	8		-
14	<i>Tabebuia serratifolia</i>	Yellow Tabebuia		REMOVE	20	20		314.00
15	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	20		NOT REGULATED	-
16	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	15		NOT REGULATED	-
17	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	20		NOT REGULATED	-
18	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	20		NOT REGULATED	-
19	<i>Roystonia regia</i>	Royal Palm		REMOVE	30	25		490.63
20	<i>Roystonia regia</i>	Royal Palm		REMOVE	30	25		490.63
21	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	15		NOT REGULATED	-
22	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	12		NOT REGULATED	-
23	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	20		NOT REGULATED	-
24	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	25		NOT REGULATED	-
25	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	15		-
26	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	15		-
27	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	15		-
28	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	15		-
29	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	15		-
30	<i>Veitchia montgomeryana</i>	Montgomery Palm		RELOCATE	25	15		-
31	<i>Tabebuia serratifolia</i>	Yellow Tabebuia		REMOVE	20	20		314.00
32	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	15	10		78.50
33	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	15	10		78.50
34	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	15	10		78.50
35	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	15	10		78.50
36	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	15	10		78.50
37	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	15	10		78.50
38	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	15	10		78.50
39	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	15	10		78.50
40	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	25	15		-
41	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	10	10	SHEFFLERA WITH INGROWN CABBAGE PALM	78.50
42	<i>Schefflera actinophylla</i>	Schefflera		REMOVE	25		INVASIVE	-
43	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	15		NOT REGULATED	-
44	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	15	10		78.50
45	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	15	10	NOT REGULATED	-
46	<i>Schinus terebinthifolius</i>	Brazilian Pepper		REMOVE	-	-	INVASIVE	-
47	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	8	6		28.26
48	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	25	15		-
49	<i>Adonidia merrillii</i>	Adonidia		REMOVE	20	12		113.04
50	<i>Adonidia merrillii</i>	Adonidia		REMOVE	10	5		19.63
51	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	20		NOT REGULATED	-
52	<i>Tabebuia heterophylla</i>	Pink Tabebuia	POOR	REMOVE	25	10		78.50
53	<i>Adonidia merrillii</i>	Adonidia		REMOVE	25	15		176.63
54	<i>Adonidia merrillii</i>	Adonidia		REMOVE	20	12		113.04
55	<i>Adonidia merrillii</i>	Adonidia	POOR	REMOVE	6	4		12.56
56	<i>Adonidia merrillii</i>	Adonidia		REMOVE	15	10		78.50
57	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	20	10		-
58	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	25	15	RARE TRIPLE HEAD PALM	-
59	<i>Adonidia merrillii</i>	Adonidia		REMOVE	8	4		12.56
60	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	10	8		-
61	<i>Dyopsis lutescens</i>	Areca Palm		REMOVE	10	5		19.63
62	<i>Livistona chinensis</i>	Chinese Fan Palm		REMOVE	20	15		176.63
63	<i>Ravenala madagascariensis</i>	Traveler's Palm		REMOVE	20		NOT REGULATED	-
64	Unknown	Unknown	POOR	REMOVE	25	15		176.63
65	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	15	10		-
66	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	8	4		-
67	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	20	10		-
68	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	25	15		-
69	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	10	10		78.50
70	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	10	10		78.50
71	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	25	15		-
72	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	25	15		-
73	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	25	15		-
74	<i>Schefflera actinophylla</i>	Schefflera		REMOVE	20	20	INVASIVE	-
75	<i>Ptychosperma elegans</i>	Solitaire Palm		REMOVE	3	2		-

NAME	SCIENTIFIC NAME	COMMON NAME	CONDITION	DISPOSITION	HEIGHT (FT.)	SPREAD (FT.)	COMMENTS	AREA OF CANOPY REMOVED (SQ. FT.)	
76	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	25	15		-	
77	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	25	15		-	
78	<i>Ptychosperma macarthurii</i>	Macarthur Palm		REMOVE	25	20	PALM CLUSTER	314.00	
79	<i>Schefflera actinophylla</i>	Schefflera		REMOVE			INVASIVE	-	
80	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	20	10		-	
81	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	20	10		-	
82	<i>Schefflera actinophylla</i>	Schefflera		REMOVE			INVASIVE	-	
83	<i>Schefflera actinophylla</i>	Schefflera		REMOVE			INVASIVE	-	
84	<i>Adonidia merrillii</i>	Adonidia		REMOVE	10	5		19.63	
85	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	10	10		78.50	
86	<i>Quercus virginiana</i>	Live Oak	POOR	REMOVE	10	10		78.50	
87	<i>Adonidia merrillii</i>	Adonidia		REMOVE	12	6		28.26	
88	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	10	10		78.50	
89	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	10	10		78.50	
90	<i>Adonidia merrillii</i>	Adonidia		REMOVE	12	8		50.24	
91	<i>Adonidia merrillii</i>	Adonidia		REMOVE	12	8		50.24	
92	<i>Adonidia merrillii</i>	Adonidia		REMOVE	12	8		50.24	
93	<i>Adonidia merrillii</i>	Adonidia		REMOVE	12	8		50.24	
94	<i>Adonidia merrillii</i>	Adonidia		REMOVE	12	8		50.24	
95	<i>Adonidia merrillii</i>	Adonidia		REMOVE	12	8		50.24	
96	<i>Adonidia merrillii</i>	Adonidia		REMOVE	12	8		50.24	
97	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	8	4		-	
98	<i>Sabal palmetto</i>	Cabbage Palm		REMOVE	6	6		28.26	
99	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	8	4		-	
100	<i>Ptychosperma elegans</i>	Solitaire Palm		RELOCATE	8	4		-	
CANOPY TO BE REMOVED (IN SQUARE FEET)								5,358.41	
MITIGATION TREES REQUIRED: 1 SHADE TREE @ MIN. 12' HIGH / 500 SF OF CANOPY REMOVED								5,358 SF / 500SF=	11
TREES PROVIDED TOWARDS MITIGATION REQUIREMENTS									0



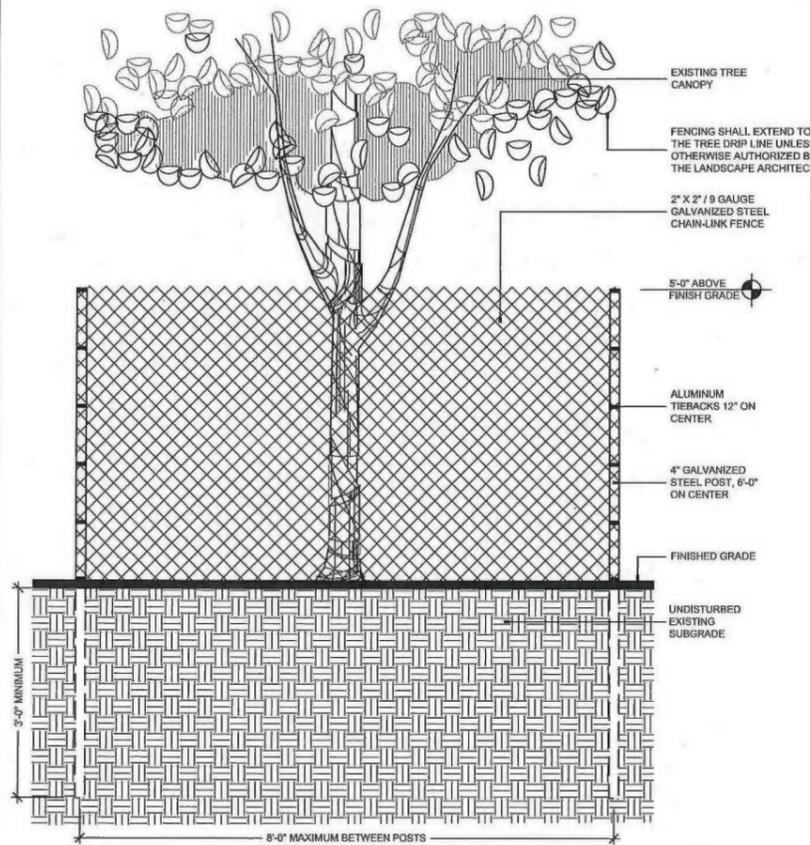
# VENERA

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08-05-2016

TREE  
DISPOSITION  
TABLE

LT-02



NOTE: BARRIER TO BE CONTINUOUS AROUND THE TREE OR GROUP OF TREES. SEE LANDSCAPE PLAN FOR LOCATION OF TREES TO REMAIN

- IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTE AND PROTECT THE EXISTING TREES TO REMAIN ON SITE.
- CONTRACTOR SHALL INSTALL A PERMANENT RIGID BARRIER PRIOR TO COMMENCEMENT OF WORK TO PROTECT THE CANOPY, TRUNK AND OR ROOT SYSTEM FROM DAMAGE.
- PROTECTION INCLUDES BUT IS NOT LIMITED TO THE PROHIBITION OF THE FOLLOWING ACTIVITIES UNDER THE CANOPY: STORING OF EQUIPMENT, STOCK PILING OF MATERIALS, TRASH OR DEBRIS AND STORING OF TRAILERS, MACHINERY AND OR VEHICLES.
- PRIOR TO COMMENCEMENT OF ANY WORK CONTRACTOR SHALL PERFORM ROUTINE MAINTENANCE, PER ANSI A300, ON THE EXISTING TREES TO REMAIN INCLUDING REMOVAL OF DEAD/DECAYED WOOD, REMOVAL OF ATTACHED BRANCHES AND STRUCTURALLY UNSOUND LIMBS AS WELL AS REMOVAL OF SUBORDINATED BRANCHES WHERE INCLUDED BARK IS PRESENT AND REMOVAL OF BRANCHES TO INCREASE LIGHT AND AIR PENETRATION WITHIN THE CANOPY. REDUCTION OF OVERALL CANOPY SIZE IS PROHIBITED. UNDER NO CIRCUMSTANCES SHALL MORE THAN 25% OF ANY CANOPY BE REMOVED IN A TWELVE MONTH PERIOD.
- PER ANSI A300, CONTRACTOR SHALL REMOVE DEAD BRANCHES AND SUCKERS FROM PRESERVED TREES.
- PER ANSI A300, CONTRACTOR SHALL REMOVE RIPPED, TORN OR "LION TAILED" BRANCHES FROM PRESERVED TREES.
- PRIOR TO COMMENCEMENT OF WORK THE CONTRACTOR, UNDER THE DIRECTION OF A CERTIFIED ASCA ARBORIST, SHALL PERFORM AN INTERNAL DECAY SURVEY AND INSPECTION AND PROVIDE A WRITTEN REPORT OF FINDINGS TO THE OWNER'S REPRESENTATIVE. IF IT IS DEEMED NECESSARY TO REMOVE ANY EXISTING TREES THAT ARE NOTED AS "REMAIN", THE CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR THE APPROPRIATE TREE REMOVAL LICENSE REQUIRED BY LOCAL CODES, LAWS AND OR REGULATIONS.
- WHERE CONSTRUCTION ACTIVITIES REQUIRE IMPACT TO THE EXISTING TREES ROOT SYSTEMS, THE CONTRACTOR, UNDER THE GUIDANCE OF AN ASCA ARBORIST, SHALL ROOT PRUNE TREES IN THE IMPACTED AREAS PER ANSI A300 STANDARDS. THE CONTRACTOR, AS WELL AS HIS/HER APPOINTED REREGISTERED ASCA ARBORIST, SHALL TAKE ANY AND ALL CUSTOMARY PRECAUTIONS NECESSARY FOR THE SURVIVAL AND CONTINUED VIGOROUS GROWTH OF SAID TREES TO REMAIN.
- ANY REQUIRED ROOT PRUNING SHALL BE COMPLETED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES. UNDER NO CIRCUMSTANCE SHALL THE ROOT SYSTEM BE SUBJECT TO COMPACTION, TEARING, RIPPING OR ANY OTHER METHOD EXCEPT CLEAN CUTS AS DESCRIBED IN ANSI A300.
- IF MORE THAN 25% OF THE TREE'S ROOT SYSTEM IS IMPACTED OR WHERE INDICATED ON THE DRAWINGS, FOR ANY REASON (IMPLIED IN THE DRAWINGS OR INCIDENTAL), THE CONTRACTOR SHALL BRACE THE TREE AS DESCRIBED ON THIS SHEET.
- ANY TREE WHO'S ROOT SYSTEM IS IMPACTED SHALL BE WATERED DAILY AS DESCRIBED ON THIS SHEET.
- ALL ACTIVITY UNDER DRIP LINES AND IN THE PROXIMITY OF PRESERVED TREES SHALL BE ACCOMPLISHED BY NON-MECHANICAL METHODS.
- CONTRACTOR SHALL PROVIDE 3" MULCH UNDER AND AROUND THE BASE OF ALL PRESERVED TREES INCLUDING TREES.

- WATER SHALL BE FREE OF SUBSTANCES HARMFUL TO PLANT GROWTH, OBJECTIONABLE ODOR OR STAINING AGENTS.
- THE WATER SHALL BE FREE OF DIRT, DEBRIS, POISONS, PESTICIDES, CONTAMINANTS AND ANY OTHER MATERIAL OR COMPOUND THAT IS DETRIMENTAL OR INHIBITS VIGOROUS PLANT HEALTH AND GROWTH.
- WATER SHALL BE OBTAINED FROM ITS SOURCE LEGALLY. WATER DRAWN FROM CANALS AND OR LAKES AND ACCESS THERETO SHALL BE DONE ONLY WITH THE EXPRESS WRITTEN APPROVAL OF THE OWNER OF SAID PROPERTY AND OR APPLICABLE FEDERAL, STATE AND LOCAL LAWS, REGULATIONS, CODES, STANDARDS OR OTHER REGULATORY REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THESE APPROVALS WITHOUT ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL ROUTINELY AND REGULARLY PROVIDE SUFFICIENT SUPPLEMENTAL WATER TO EXISTING TREES IMPACTED BY CONSTRUCTION ACTIVITIES, AS WELL AS RELOCATED TREES, TO PROVIDE FOR VIGOROUS PLANT HEALTH AND GROWTH.

**1** TREE PROTECTION DETAIL  
LT-03 SCALE: 3/4"=1'-0"

**3** EXISTING TREE NOTES  
LT-03 SCALE: N/A

**6**  
LT-03 SCALE:

- CONTRACTOR SHALL PROTECT THE ROOT SYSTEM OF PLANTS THAT ARE NOTED AS "RELOCATE" OR "PRESERVE".
- PLANTS THAT ARE NOTED AS "REMAIN" SHALL BE STAKED AND ROOT PRUNED IF NECESSARY AND AS NOTED, PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
- PLANTS TO BE "RELOCATED" SHALL BE ROOT PRUNED AND RELOCATED PRIOR TO COMMENCEMENT OF DEMOLITION ACTIVITIES.
- AS PART OF THE REMOVAL OF PLANTS, THE CONTRACTOR IS RESPONSIBLE FOR REMOVING STUMPS AND ROOT SYSTEMS; UNLESS OTHERWISE NOTED.
- CONTRACTOR IS RESPONSIBLE FOR HAND WATERING ALL RELOCATED TREES AND EXISTING TREES IMPACTED BY CONSTRUCTION.

- PROVIDE 2" X 4" PRESSURE TREATED WOOD BRACES AND STAKES FOR TREES UP TO 6" CALIPER.
- PROVIDE 4" X 4" PRESSURE TREATED WOOD BRACES AND STAKES FOR TREES OVER 6" CALIPER.
- PROVIDE THE NUMBER OF BRACE MEMBERS AND ASSOCIATED STAKES PER TREE AS FOLLOWS:
 

EXISTING TREE CALIPER	NUMBER OF PRESSURE TREATED BRACES AND STAKES
UP TO 4"	THREE
4" TO 6"	FOUR
6" TO 12"	FIVE
12" AND UP	EIGHT
- ALL BRACING SHALL BE ATTACHED STAKE AND BATTENS WITH GALVANIZED WOOD SCREWS.

**7**  
LT-03 SCALE:

**2** TREE DEMOLITION NOTES  
LT-03 SCALE: N/A

**4** PRESERVED AND RELOCATED TREE BRACING NOTES  
LT-03 SCALE: N/A

**5** PRESERVED TREES WATERING NOTES  
LT-03 SCALE: N/A

08-05-2016

TREE PROTECTION NOTES & DETAILS

LT-03

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 CORAL GABLES, FL

SHOMA

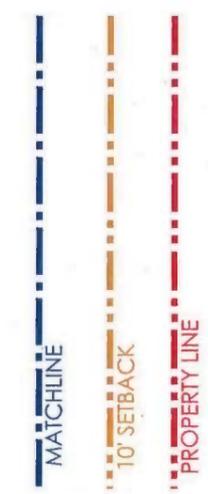
08-05-2016

SOUTH  
 ELEVATION  
 OVERALL

A-12



**LEGEND:**



**MATERIALS**

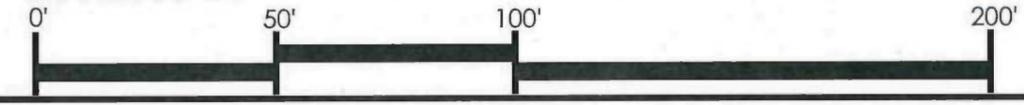
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- 2 WROUGHT IRON PANELS
- 3 POLISHED BLACK STEEL WINDOWS
- 4 POLISHED BLACK STEEL CANOPY WITH FROSTED GLASS
- 5 SMOOTH STUCCO FINISH
- 6 ALUMINUM TRELLIS
- 7 EXTERIOR OUTDOOR BLACK IRON LANTERN
- 8 EXTERIOR WROUGHT IRON CHANDELIER
- 9 WROUGHT IRON RAILINGS



**SOUTH ELEVATION OVERALL**

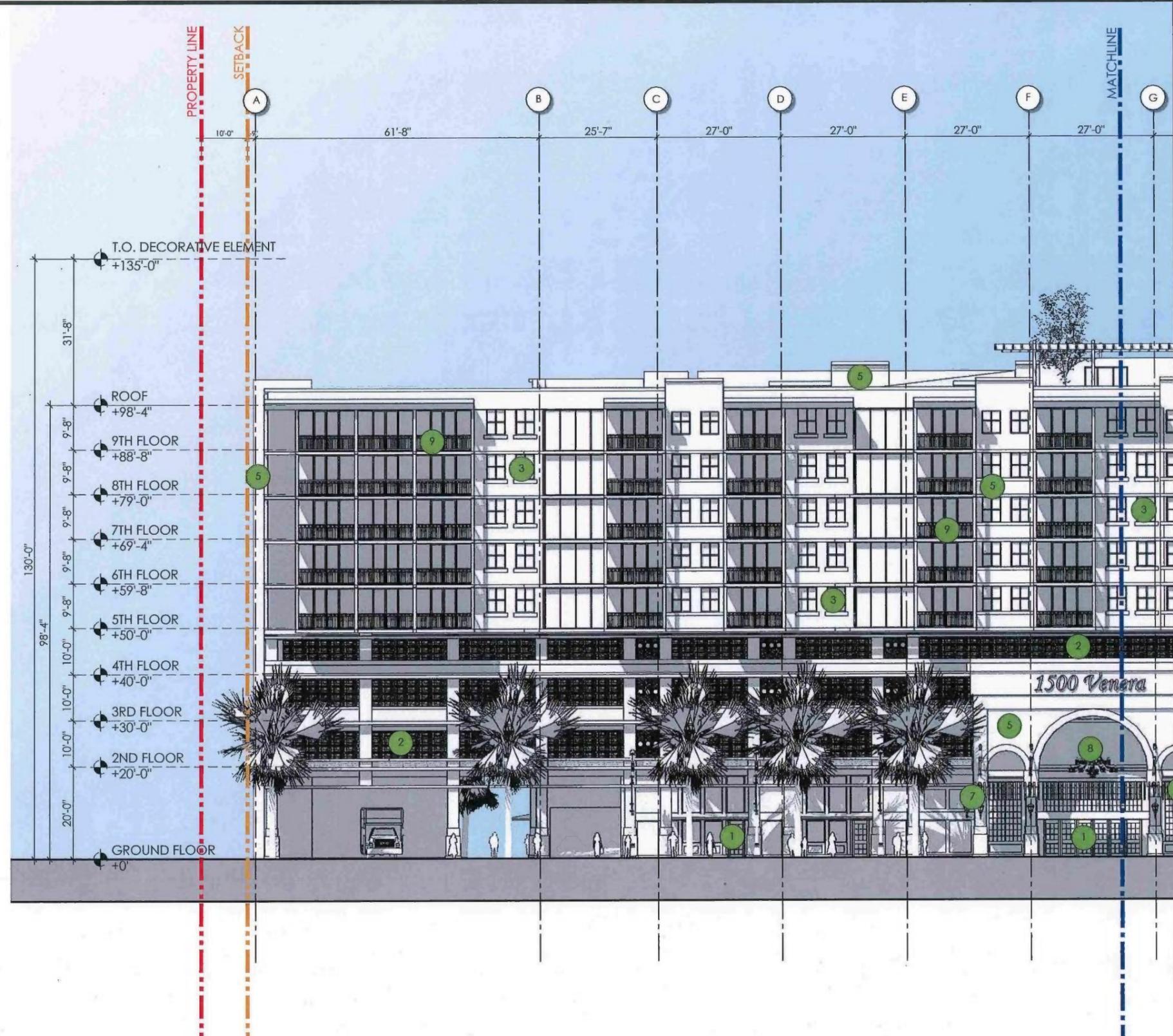
SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"  
 GRAPHIC SCALE:



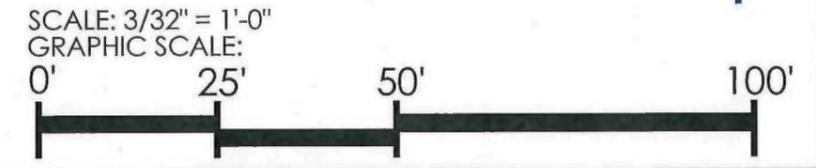
LEGEND:

- MATERIALS
- 1 POLISHED BLACK STEEL DOOR
  - 2 WROUGHT IRON PANELS
  - 3 POLISHED BLACK STEEL WINDOWS
  - 4 POLISHED BLACK STEEL CANOPY WITH FROSTED GLASS
  - 5 WHITE SMOOTH STUCCO FINISH
  - 6 FROSTED GLASS ROOF CANOPY
  - 7 EXTERIOR OUTDOOR BLACK IRON LANTERN
  - 8 EXTERIOR WROUGHT IRON CHANDELIER
  - 9 WROUGHT IRON RAILINGS



SOUTH ELEVATION - A

SCALE: 3/32" = 1'-0"



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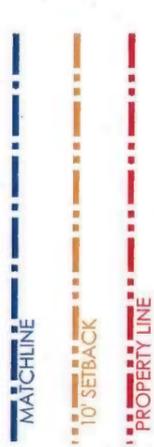
**VENERA**  
 1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146  
 CORAL GABLES, FL

**SHOMA**  
 08-05-2016

SOUTH ELEVATION PARTIAL A

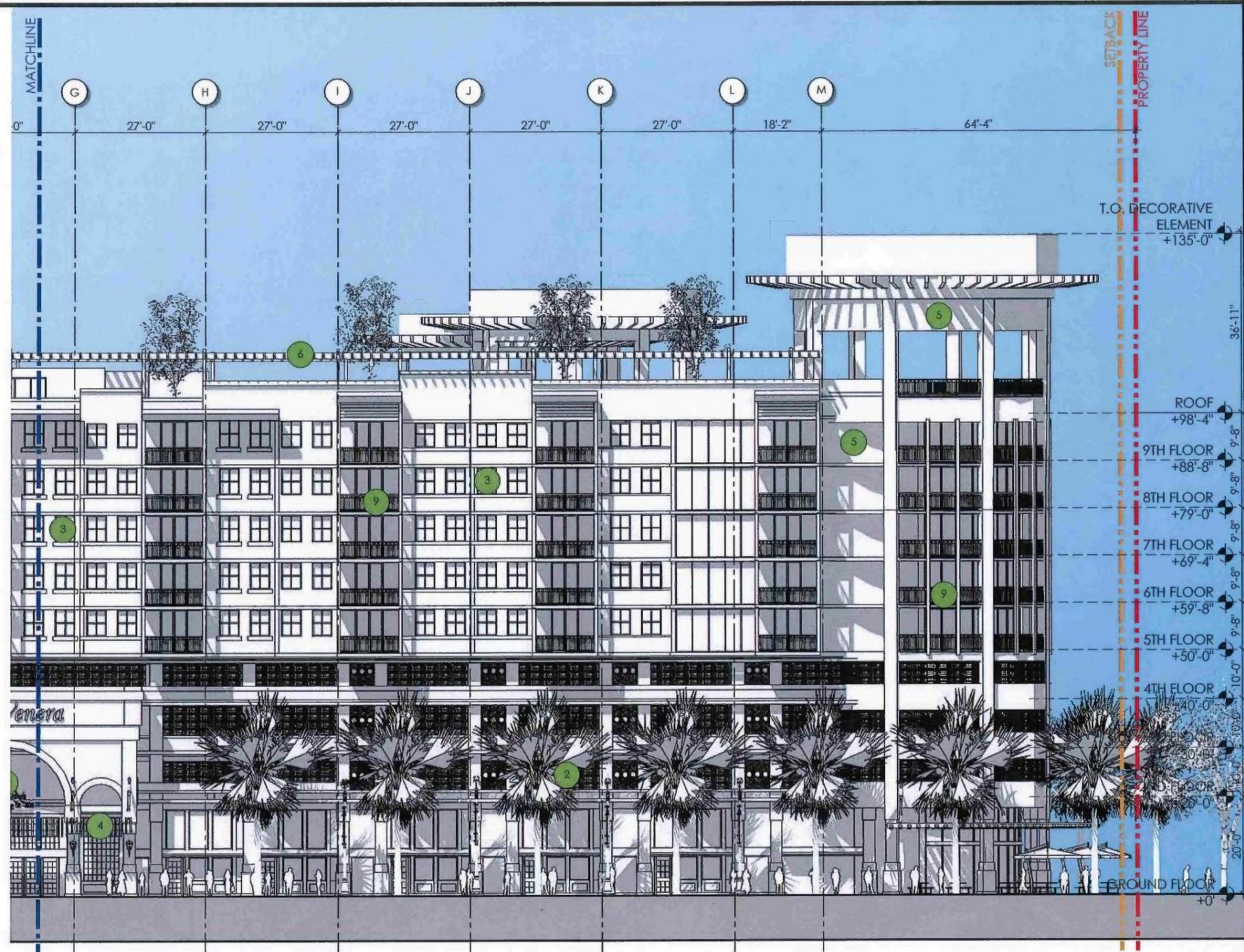
A-12A

LEGEND:



MATERIALS

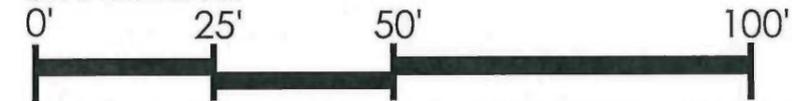
- 1 POLISHED BLACK STEEL DOOR
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- 7 EXTERIOR OUTDOOR BLACK IRON LANTERN
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- 9 WROUGHT IRON RAILINGS



SOUTH ELEVATION - B

SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"  
GRAPHIC SCALE:



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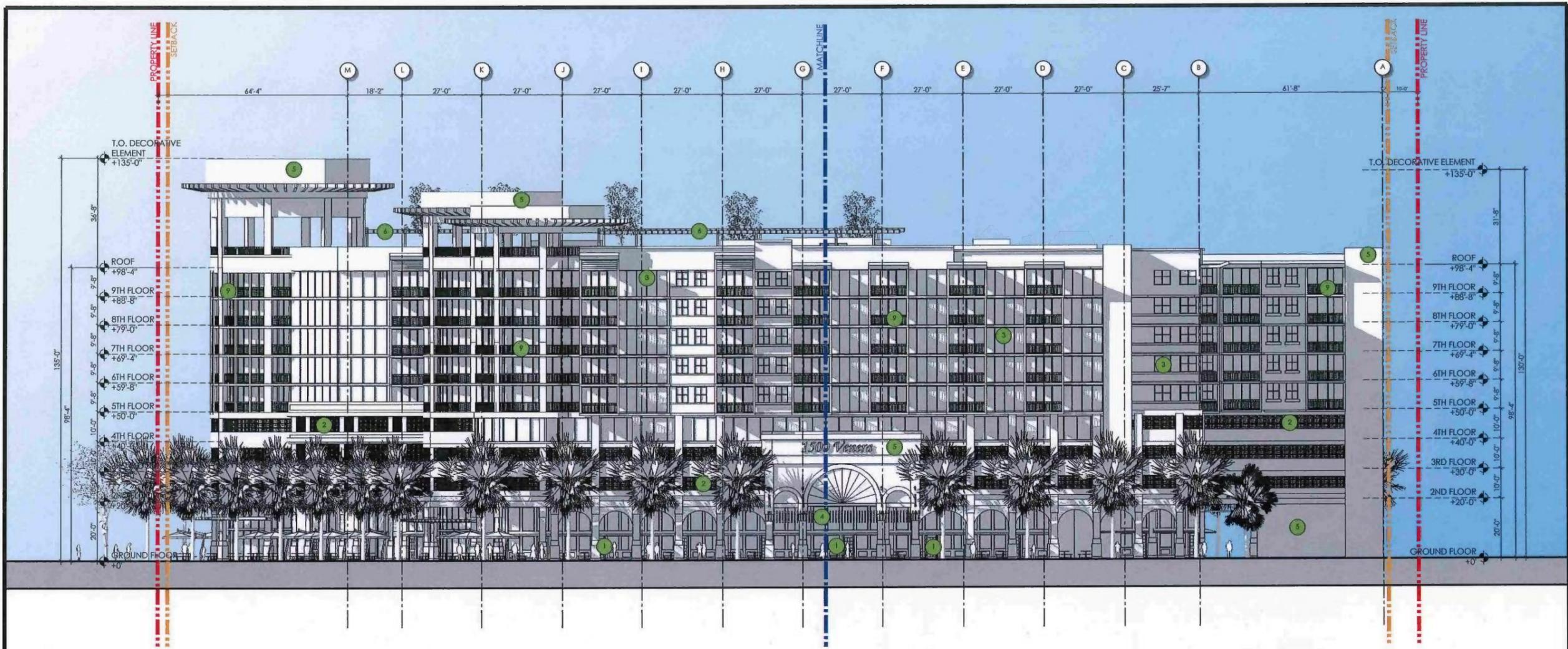
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15115 SAN REMO AVE, 33146  
CORAL GABLES, FL

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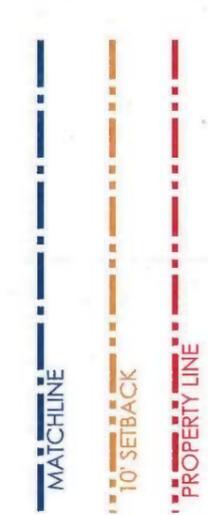
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SOUTH  
ELEVATION  
PARTIAL B

A-12B



**LEGEND:**



**MATERIALS**

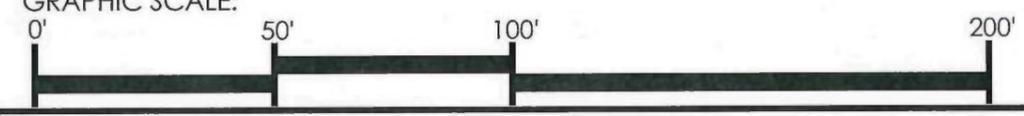
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| 1 | POLISHED BLACK STEEL DOOR                      | 6 | ALUMINUM TRELLIS                    |
| 2 | WROUGHT IRON PANELS                            | 7 | EXTERIOR OUTDOOR BLACK IRON LANTERN |
| 3 | POLISHED BLACK STEEL WINDOWS                   | 8 | EXTERIOR WROUGHT IRON CHANDELIER    |
| 4 | POLISHED BLACK STEEL CANOPY WITH FROSTED GLASS | 9 | WROUGHT IRON RAILINGS               |
| 5 | SMOOTH STUCCO FINISH                           |   |                                     |



**NORTH ELEVATION OVERALL**

SCALE: 1/16" = 1'-0"

SCALE: 1/16" = 1'-0"  
 GRAPHIC SCALE:



**VENERA**

1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146  
 CORAL GABLES, FL

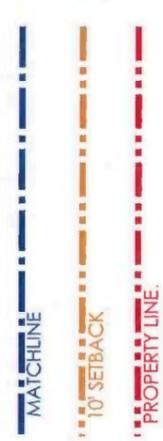
**SHOMA**

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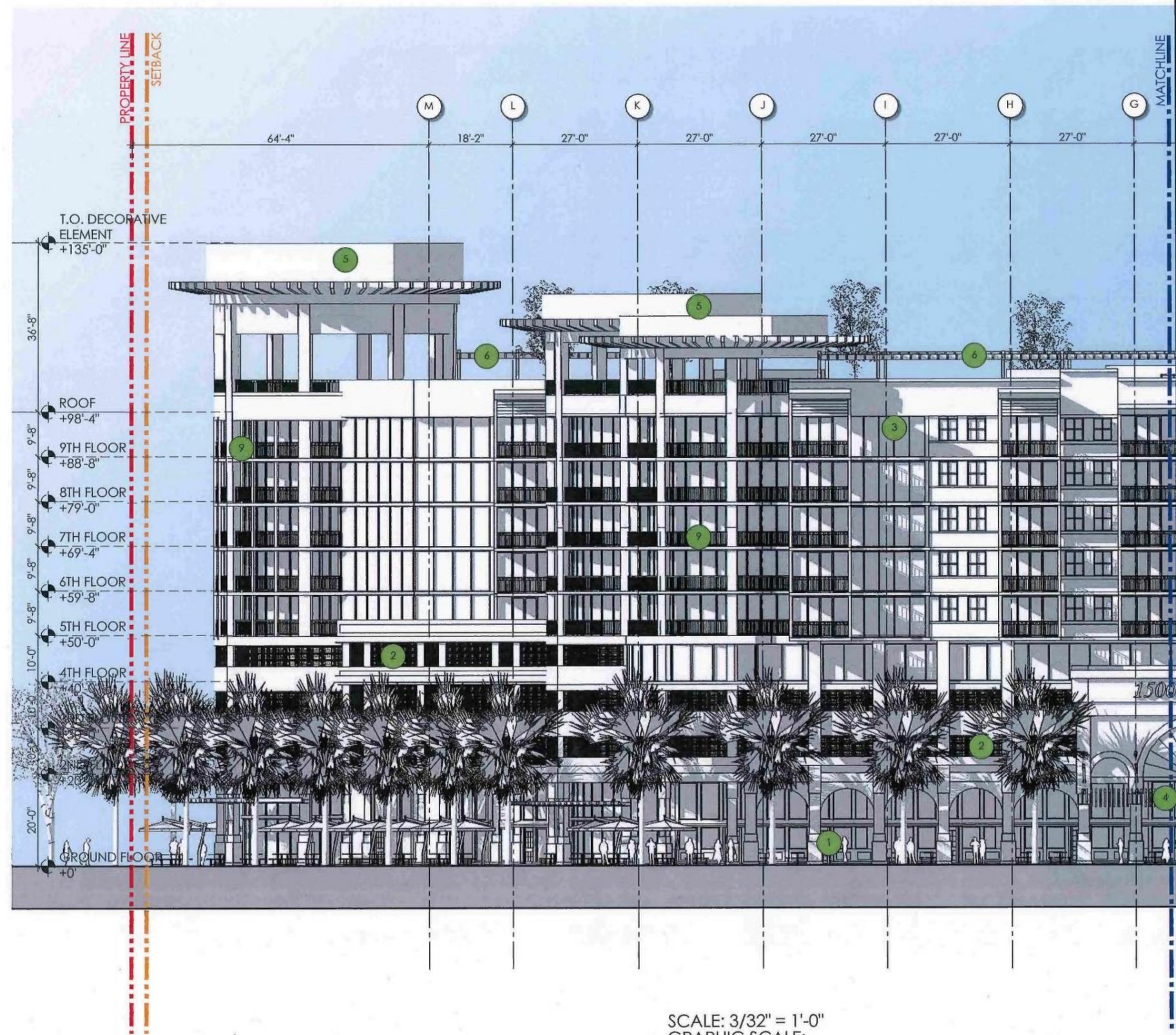
**NORTH ELEVATION OVERALL**

**A-13**

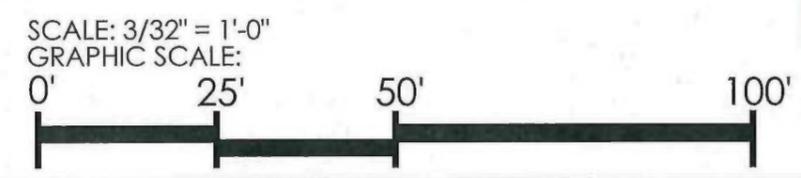
LEGEND:



- MATERIALS
- 1 POLISHED BLACK STEEL DOOR
  - 2 WROUGHT IRON PANELS
  - 3 POLISHED BLACK STEEL WINDOWS
  - 4 POLISHED BLACK STEEL CANOPY WITH FROSTED GLASS
  - 5 WHITE SMOOTH STUCCO FINISH
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  - 7 EXTERIOR OUTDOOR BLACK IRON LANTERN
  - 8 EXTERIOR WROUGHT IRON CHANDELIER
  - 9 WROUGHT IRON RAILINGS



NORTH ELEVATION - A  
SCALE: 3/32" = 1'-0"



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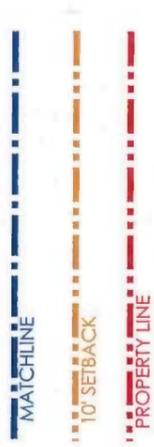
**VENERA**  
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08-05-2016

NORTH ELEVATION PARTIAL A

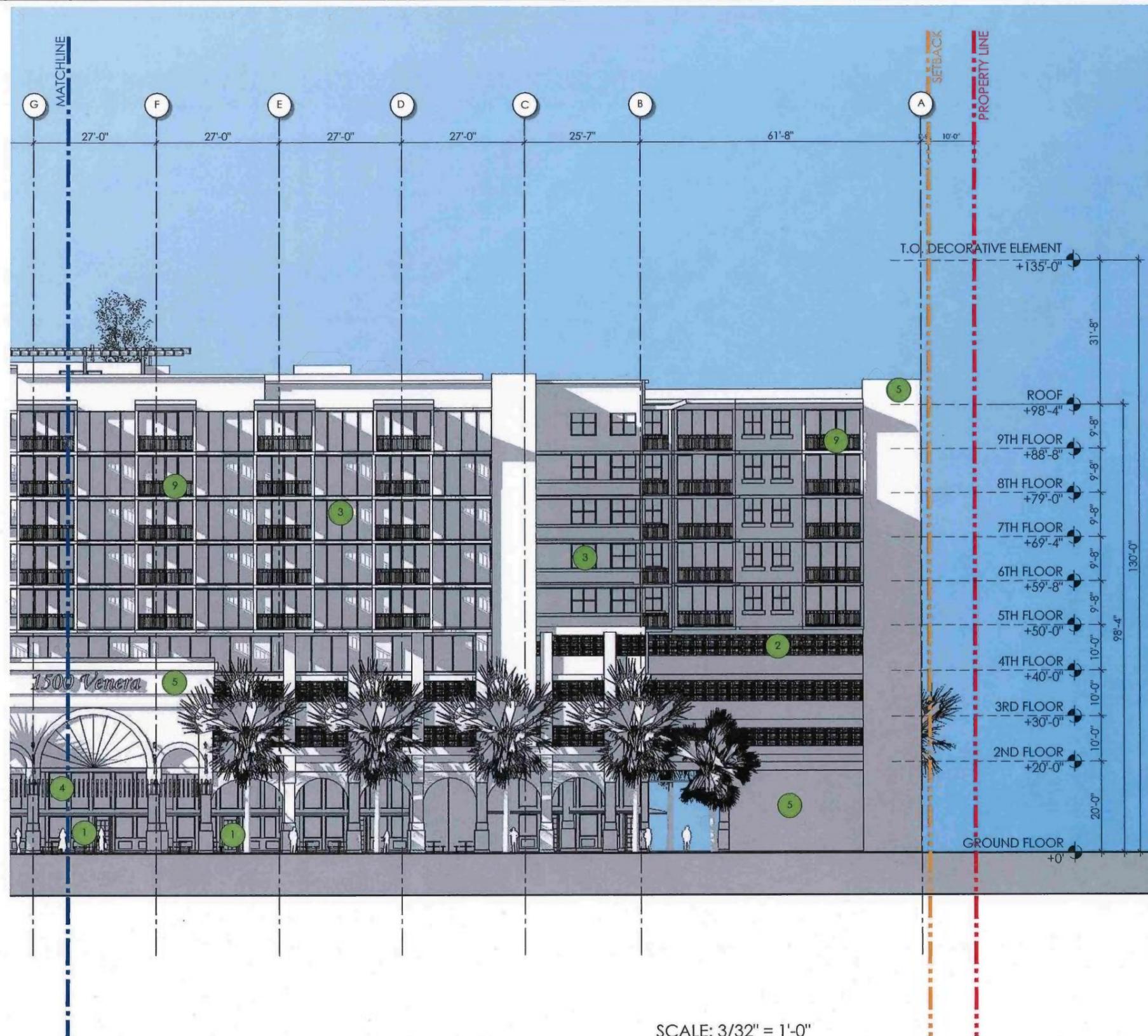
**A-13A**

LEGEND:



MATERIALS

- 1 POLISHED BLACK STEEL DOOR
- 2 WROUGHT IRON PANELS
- 3 POLISHED BLACK STEEL WINDOWS
- 4 POLISHED BLACK STEEL CANOPY WITH FROSTED GLASS
- 5 WHITE SMOOTH STUCCO FINISH
- 6 FROSTED GLASS ROOF CANOPY
- 7 EXTERIOR OUTDOOR BLACK IRON LANTERN
- 8 EXTERIOR WROUGHT IRON CHANDELIER
- 9 WROUGHT IRON RAILINGS



NORTH ELEVATION - B

SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"  
GRAPHIC SCALE:



VENERA

1500 VENERA AVE, 33146  
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CORAL GABLES, FL

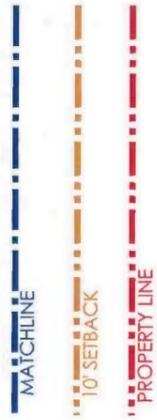
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08-05-2016

NORTH  
ELEVATION  
PARTIAL B

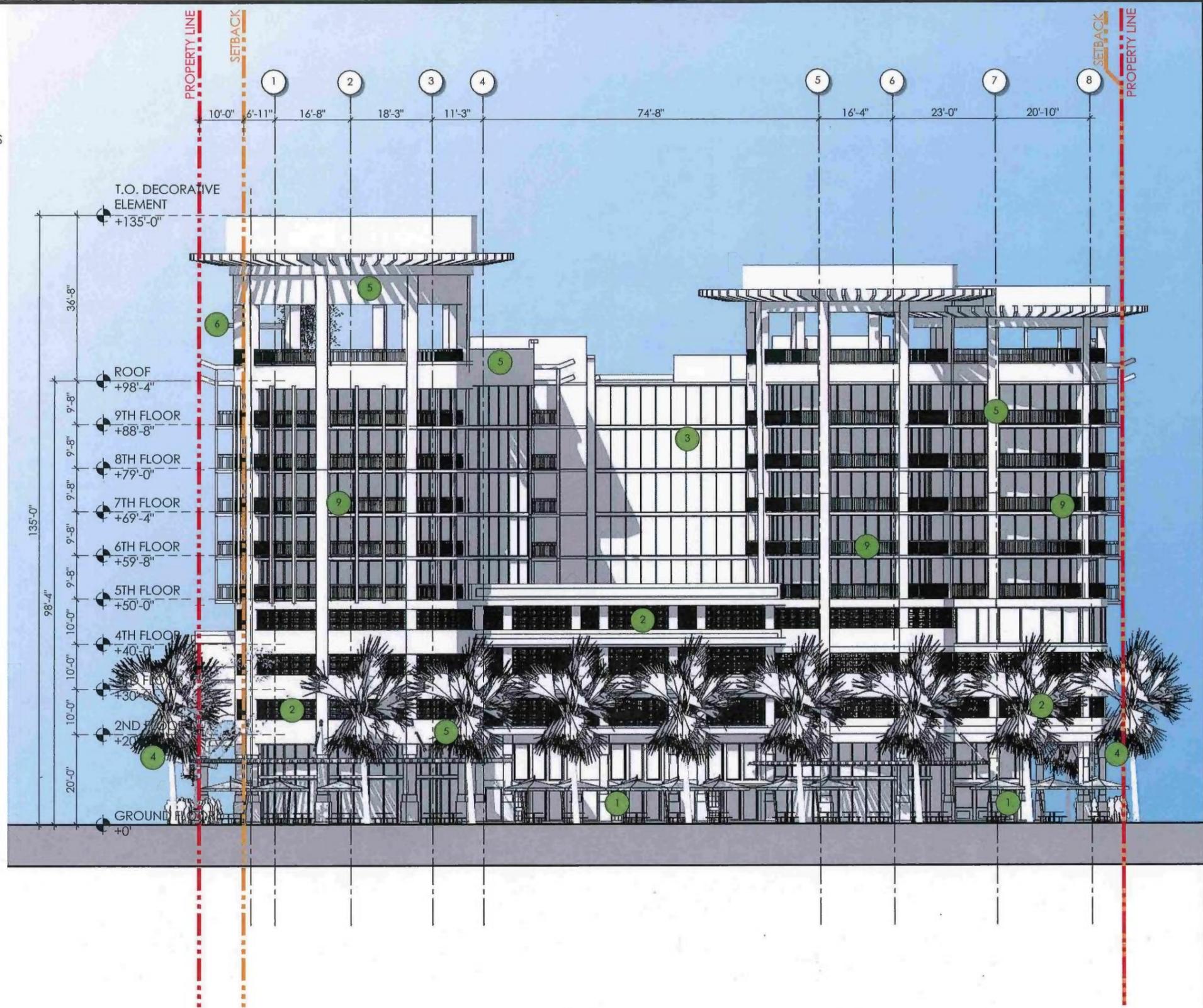
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LEGEND:



MATERIALS

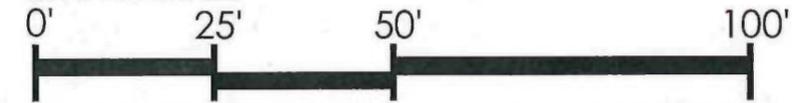
- 1 POLISHED BLACK STEEL DOOR
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- 9 WROUGHT IRON RAILINGS



EAST ELEVATION

SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"  
GRAPHIC SCALE:



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1515 SAN REMO AVE, 33146  
CORAL GABLES, FL

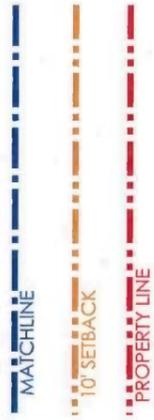
SHOMA

08-05-2016

EAST  
ELEVATION

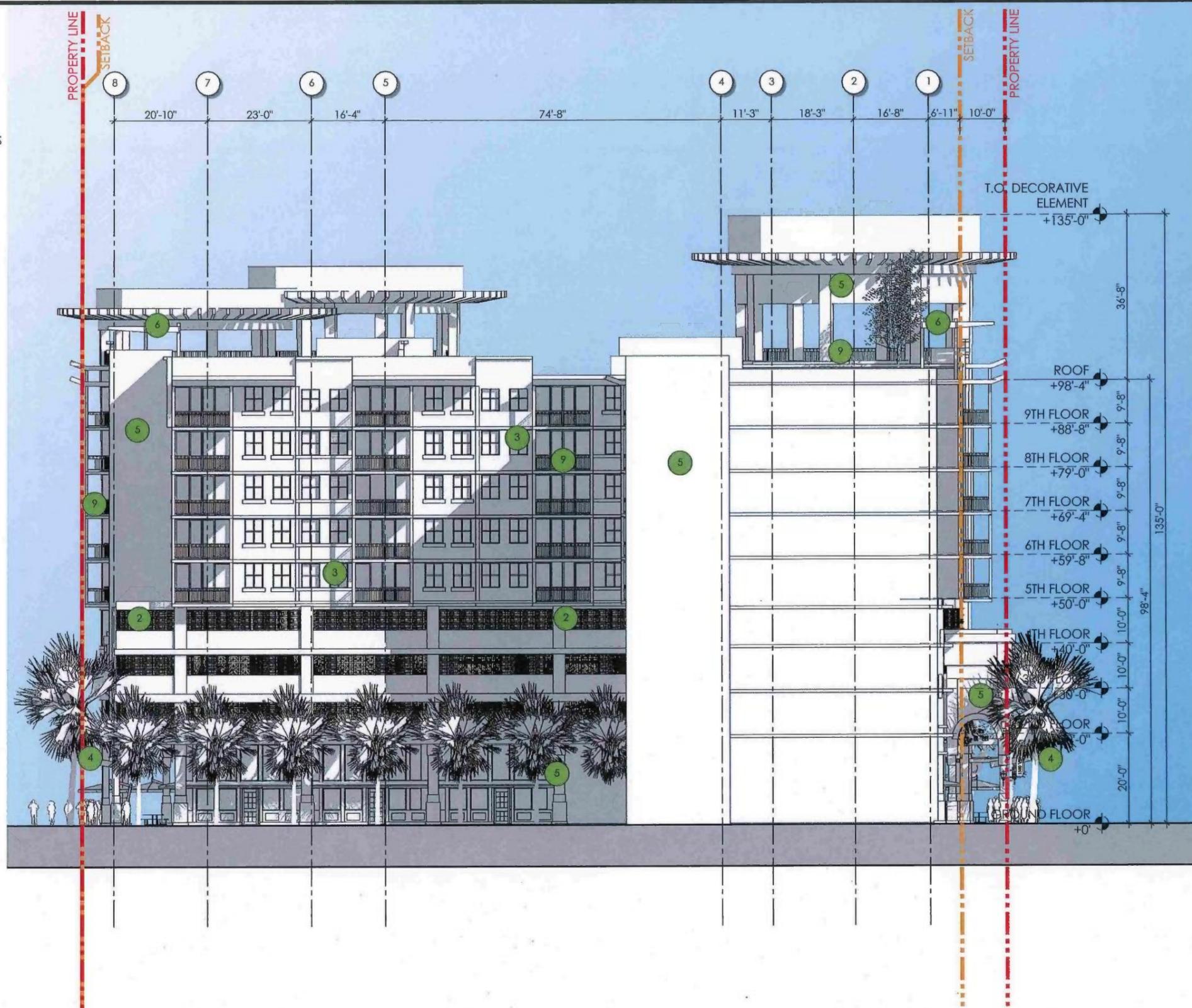
A-14

**LEGEND:**



**MATERIALS**

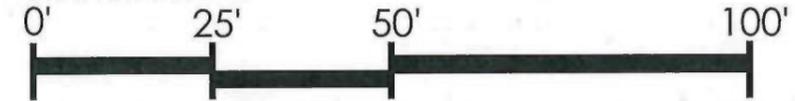
- 1 POLISHED BLACK STEEL DOOR
- 2 WROUGHT IRON PANELS
- 3 POLISHED BLACK STEEL WINDOWS
- 4 POLISHED BLACK STEEL CANOPY WITH FROSTED GLASS
- 5 WHITE SMOOTH STUCCO FINISH
- 6 FROSTED GLASS ROOF CANOPY
- 7 EXTERIOR OUTDOOR BLACK IRON LANTERN
- 8 EXTERIOR WROUGHT IRON CHANDELIER
- 9 WROUGHT IRON RAILINGS



**WEST ELEVATION**

SCALE: 3/32" = 1'-0"

SCALE: 3/32" = 1'-0"  
GRAPHIC SCALE:



**ba**  
Bermello Ajemil & Partners, Inc.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 859-2050  
WWW.BERMELOAJEMIL.COM

**VENERA**

1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL

**SHOMA**

08-05-2016

WEST ELEVATION

**A-15**

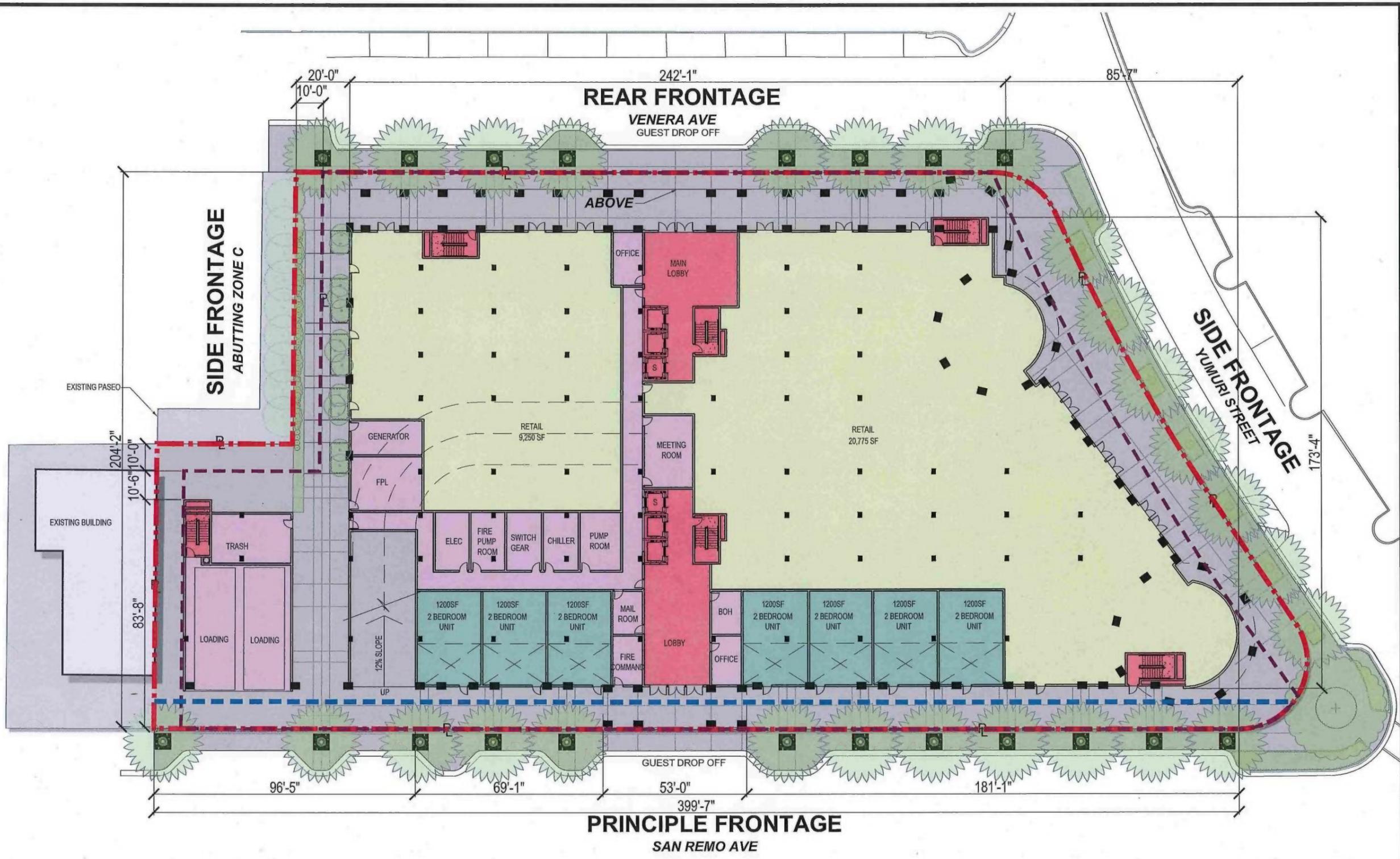
# VENERA

1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146  
 CORAL GABLES, FL

SHOMA  
 08-05-2016

GROUND FLOOR PLAN

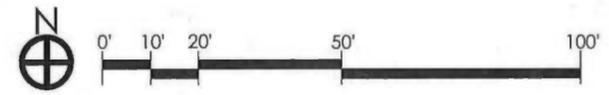
A-6



**GROUND FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

**LEGEND:**

PROPERTY LINE	1 BEDROOM	2 BEDROOM	3 BEDROOM
SETBACKS	CIRCULATION	BOH	LANDSCAPE
SETBACKS ABOVE 45'	RETAIL	PARKING AREA	AMENITIES

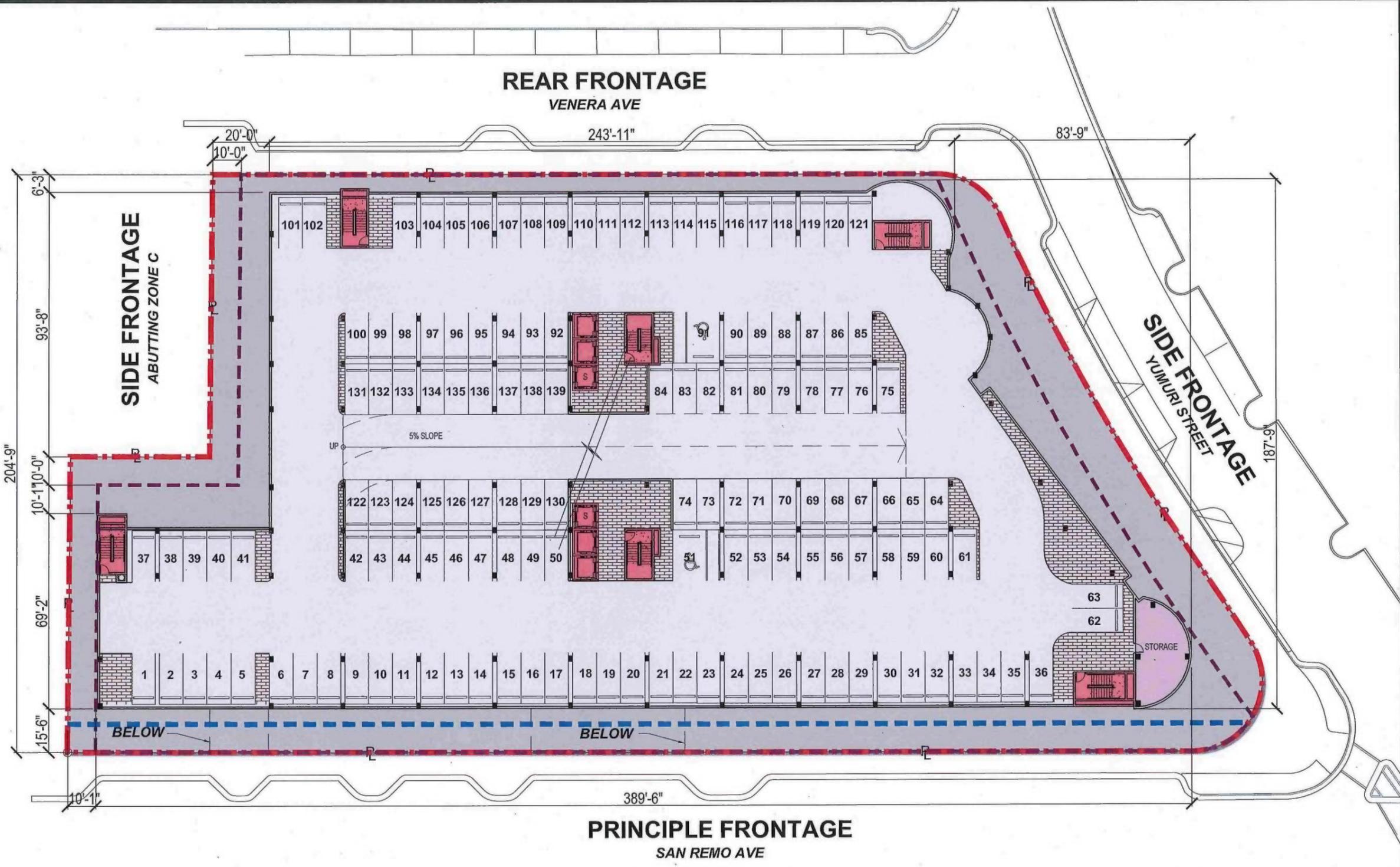


**VENERA**  
 1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146  
 CORAL GABLES, FL

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2ND  
 FLOOR  
 PLAN

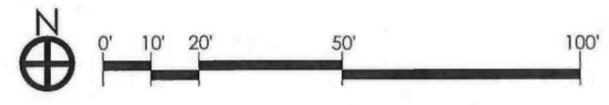
A-7



**2ND FLOOR PLAN**  
 SCALE: 1/16" = 1'-0

**LEGEND:**

PROPERTY LINE	1 BEDROOM	2 BEDROOM	3 BEDROOM
SETBACKS	CIRCULATION	BOH	LANDSCAPE
SETBACKS ABOVE 45'	RETAIL	PARKING AREA	AMENITIES

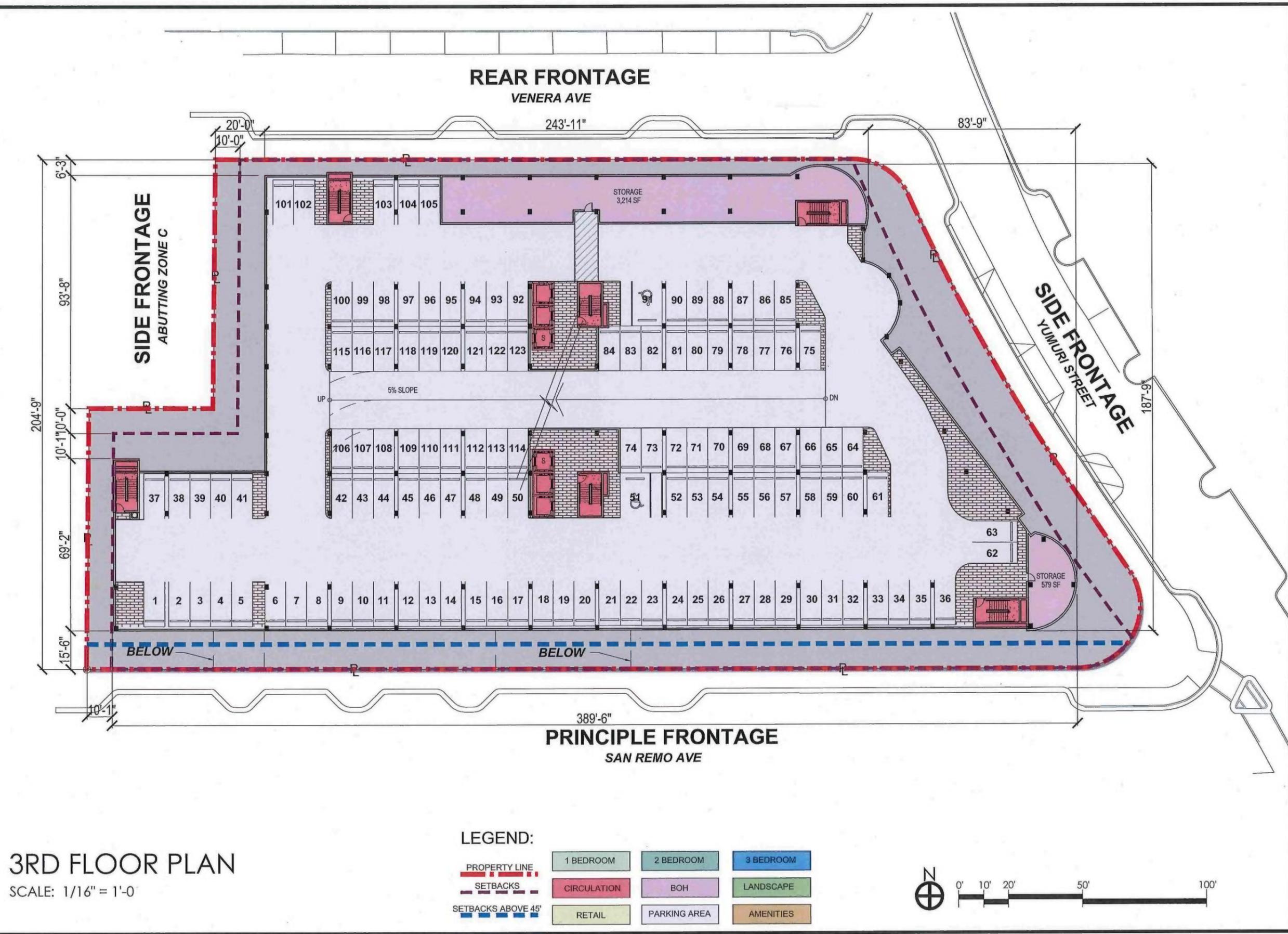


**VENERA**  
 1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146  
 CORAL GABLES, FL

**SHOMA**  
 08-05-2016

3RD  
 FLOOR  
 PLAN

A-8



# VENERA

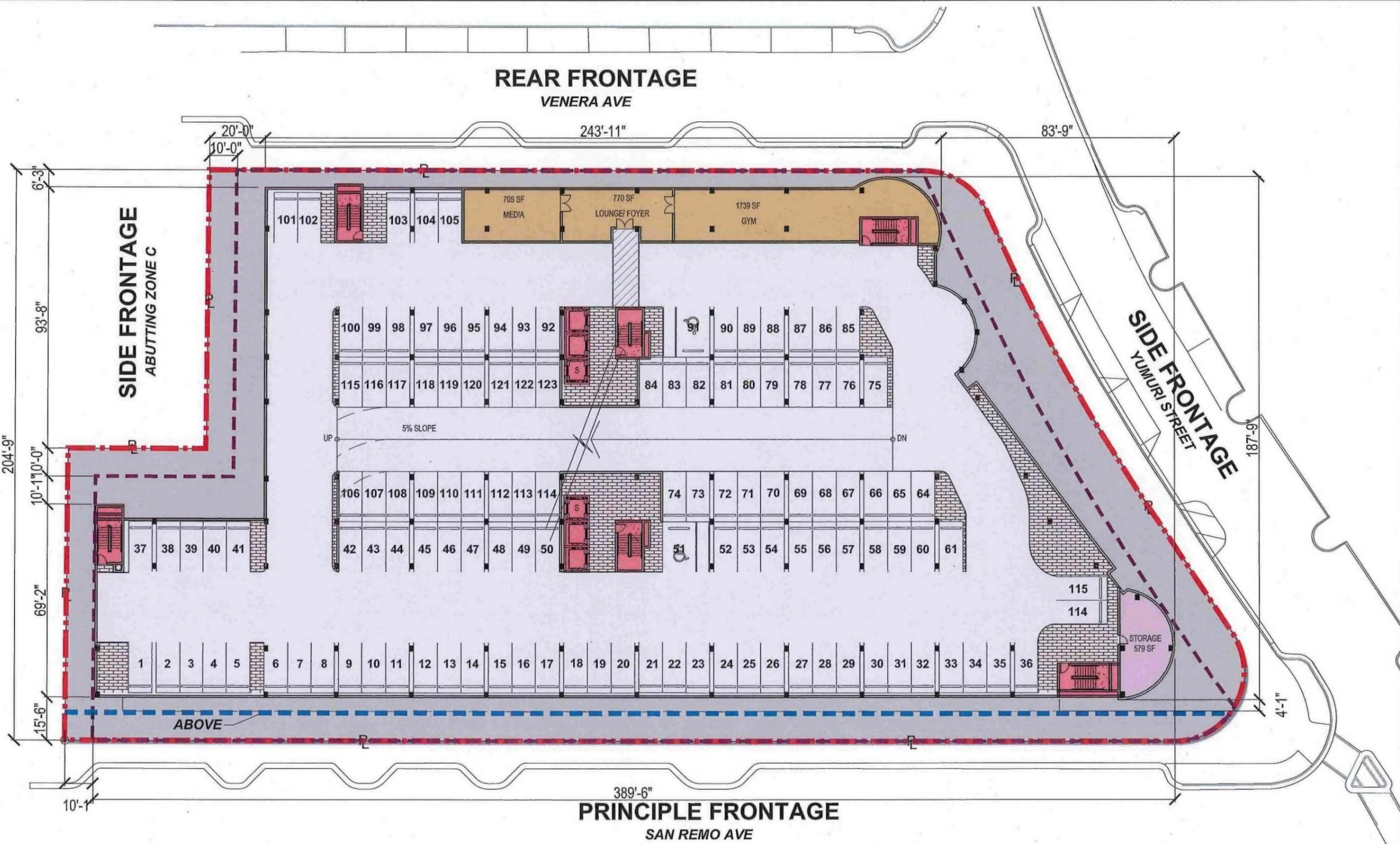
1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146  
 CORAL GABLES, FL

**SHOMA**

08-05-2016

4TH  
 FLOOR  
 PLAN

A-9

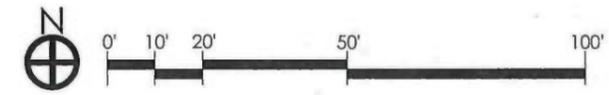


## 4TH FLOOR PLAN

SCALE: 1/16" = 1'-0"

**LEGEND:**

PROPERTY LINE	1 BEDROOM	2 BEDROOM	3 BEDROOM
SETBACKS	CIRCULATION	BOH	LANDSCAPE
SETBACKS ABOVE 45'	RETAIL	PARKING AREA	AMENITIES



# VENERA

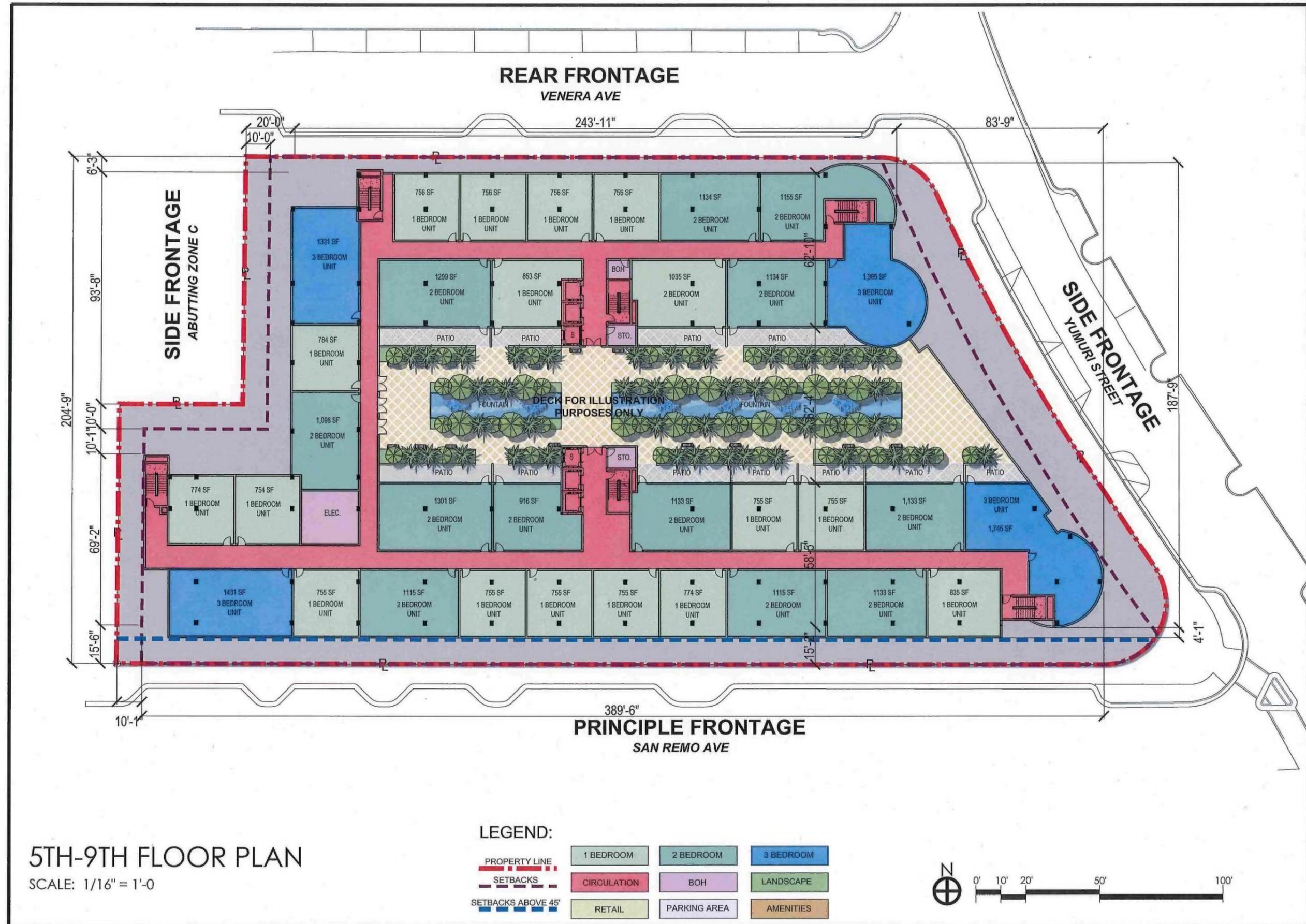
1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146  
 CORAL GABLES, FL

**SHOMA**

08-05-2016

5-9TH  
 FLOOR  
 PLAN

A-10



5TH-9TH FLOOR PLAN

**VENERA**  
 1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146  
 CORAL GABLES, FL

**SHOMA**  
 08-05-2016

ROOF  
 FLOOR  
 PLAN

A-11

**REAR FRONTAGE**  
 VENERA AVE

243'-11"

83'-9"

**SIDE FRONTAGE**  
 YUMURI STREET

187'-9"

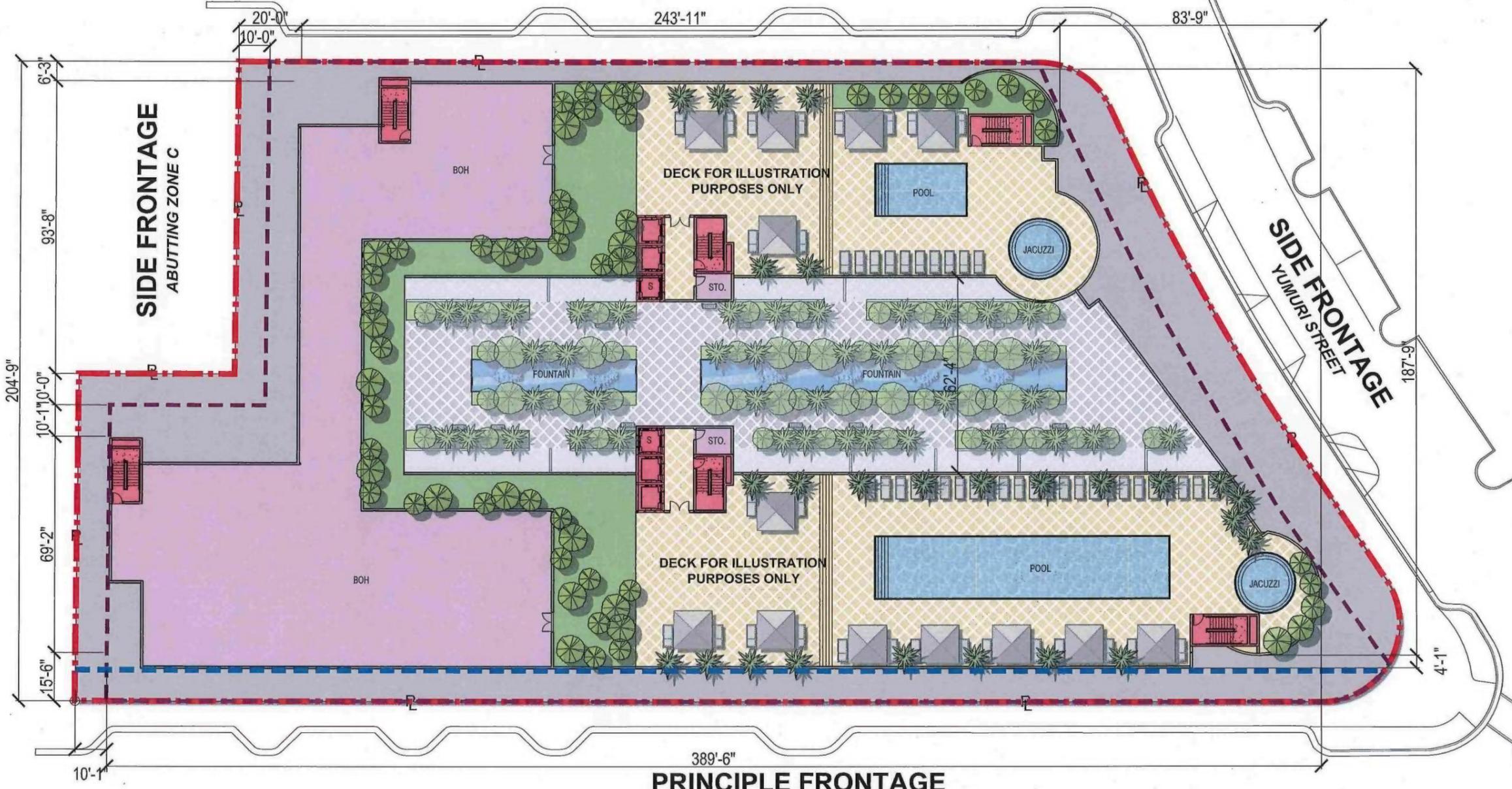
4'-1"

**PRINCIPLE FRONTAGE**  
 SAN REMO AVE

389'-6"

**SIDE FRONTAGE**  
 ABUTTING ZONE C

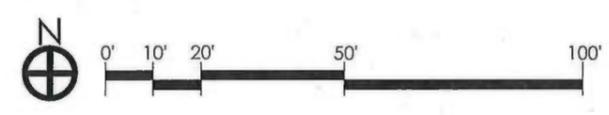
6'-3"  
 93'-8"  
 204'-9"  
 10'-11"  
 69'-2"  
 15'-6"  
 10'-1"

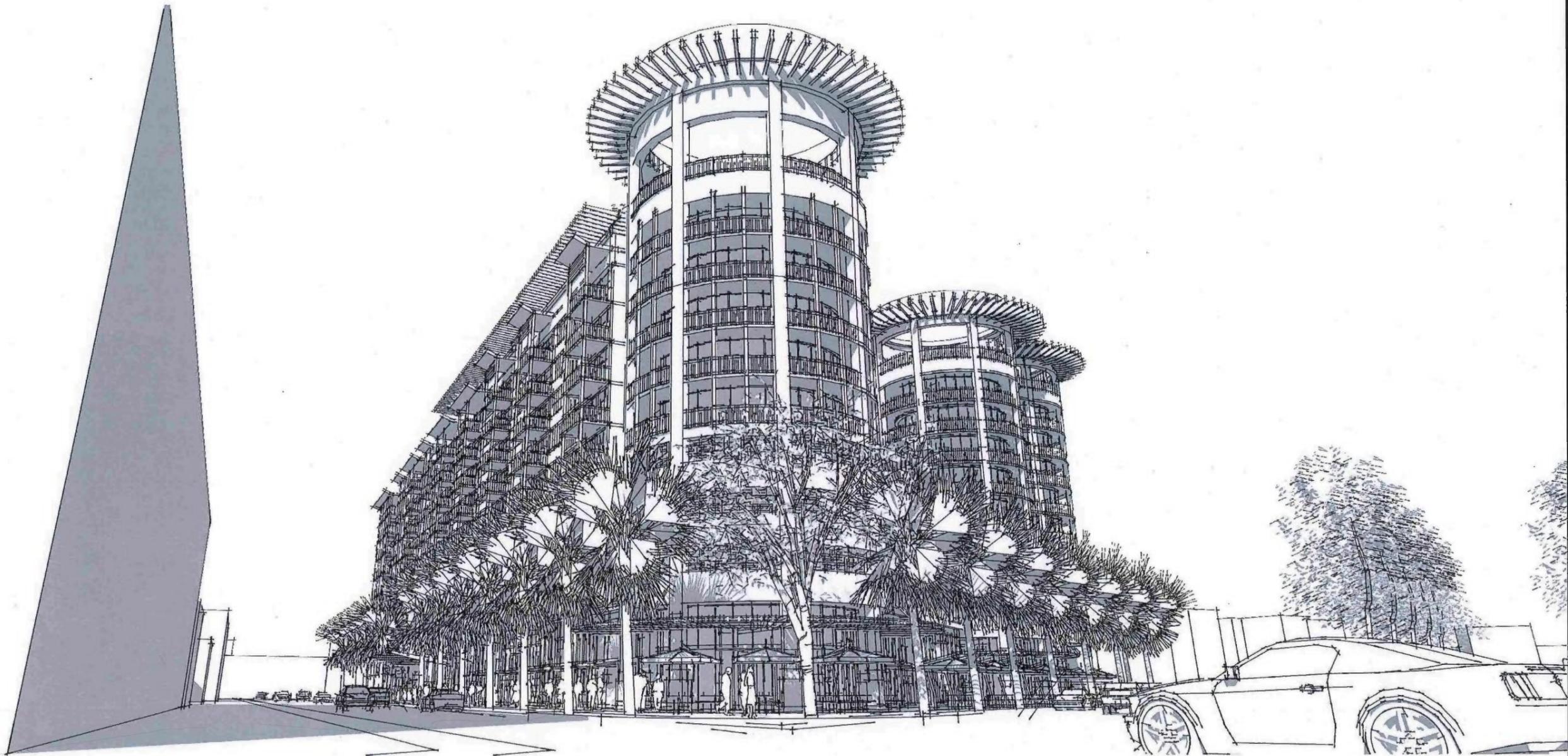


**ROOF FLOOR PLAN**  
 SCALE: 1/16" = 1'-0"

**LEGEND:**

PROPERTY LINE	1 BEDROOM	2 BEDROOM	3 BEDROOM
SETBACKS	CIRCULATION	BOH	LANDSCAPE
SETBACKS ABOVE 45'	RETAIL	PARKING AREA	AMENITIES





RENDERING



Bermello Ajamil & Partners, Inc.  
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WWW.BERMELLOAJAMIL.COM

# VENERA

1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL

SHOMA

08-05-2016

RENDERINGS

A-17



RENDERING



Bermello Ajemil & Partners, Inc.  
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# VENERA

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08-05-2016

RENDERINGS

A-18



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08-05-2016

RENDERINGS

# A-19

RENDERING



RENDERING



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# VENERA

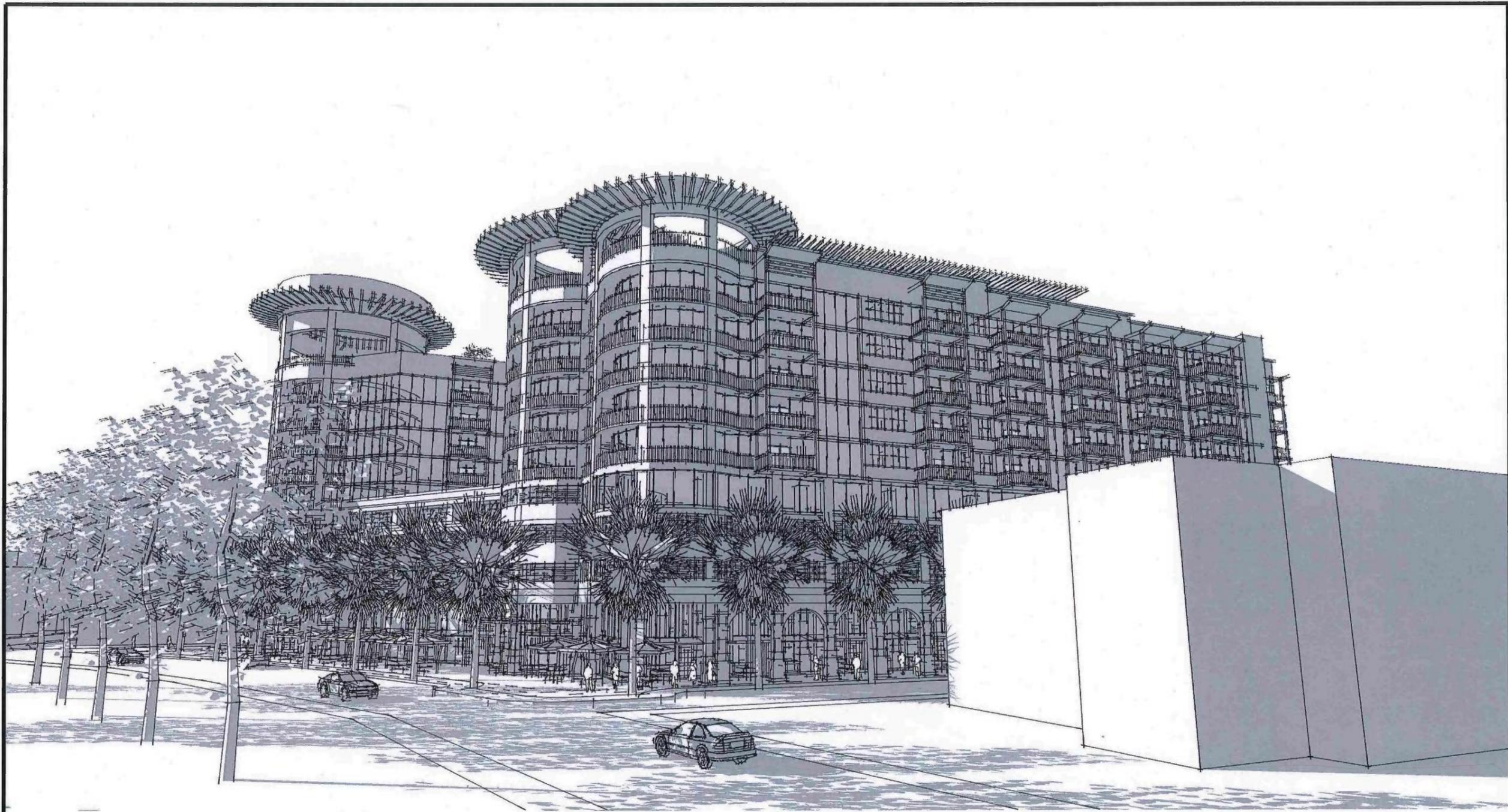
1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL

SHOMA

08-05-2016

RENDERINGS

A-20



RENDERING

**ba**  
Bermello Ajami & Partners, Inc.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
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VENERA

1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL

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08-05-2016

RENDERINGS

A-21



RENDERING



Bermello Ajamil & Partners, Inc.  
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# VENERA

1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL

SHOMA

08-05-2016

RENDERINGS

# A-22



RENDERING

**ba**  
Bermello Ajamil & Partners, Inc.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 859-2050  
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**VENERA**  
1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL

**SHOMA**  
08-05-2016

RENDERINGS

**A-23**



RENDERING



Bermello Ajamil & Partners, Inc.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
MIAMI, FL 33133  
P: (305) 659-2600  
WWW.BERMELLOAJAMIL.COM

# VENERA

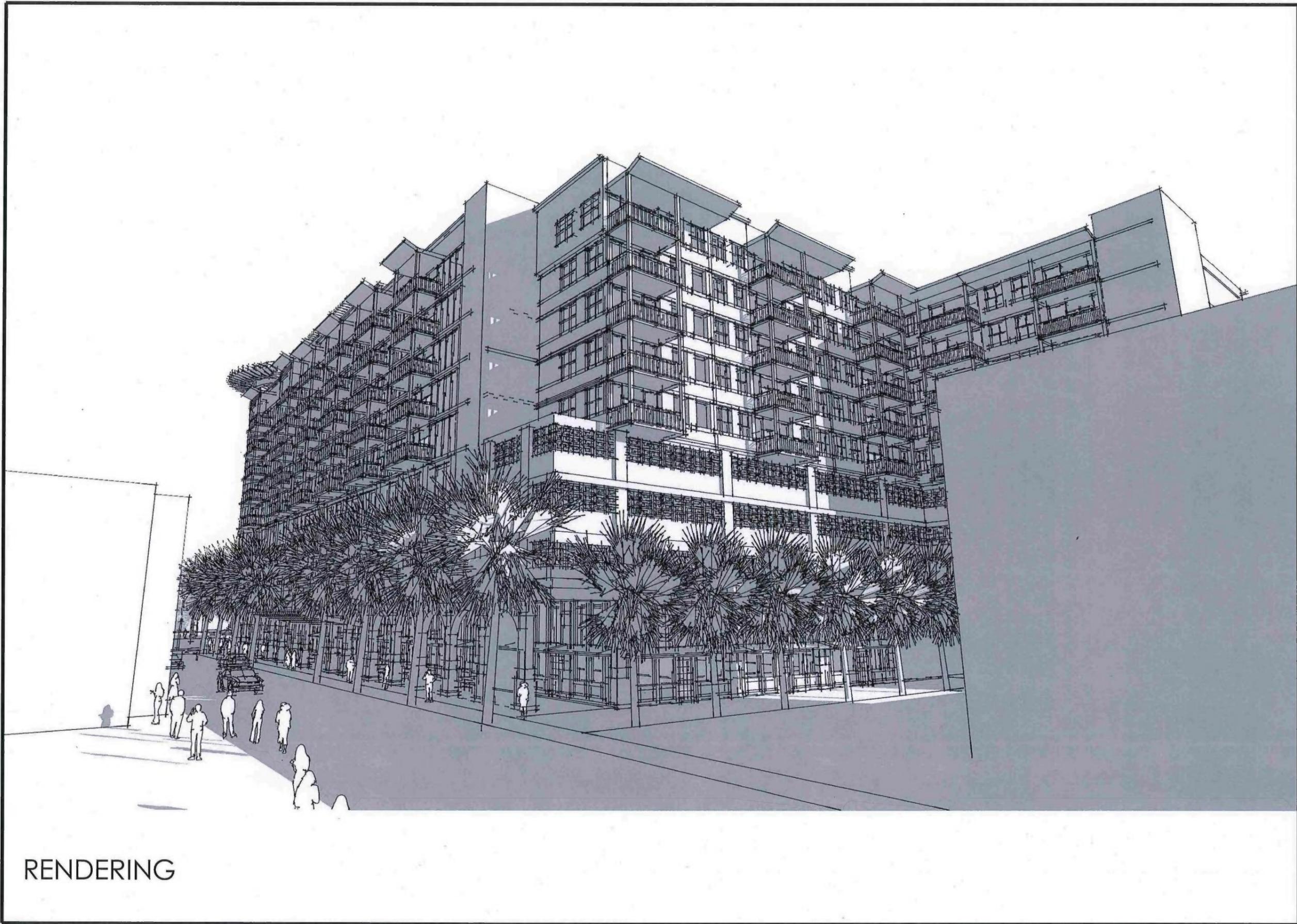
1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL

SHOMA

08-05-2016

RENDERINGS

A-24



RENDERING



Bermello Ajamil & Partners, Inc.  
2601 SOUTH BAYSHORE DRIVE, SUITE 1000  
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# VENERA

1500 VENERA AVE, 33146  
1515 SAN REMO AVE, 33146  
CORAL GABLES, FL

SHOMA

08-05-2016

RENDERINGS

# A-25

## On-Street Parking Analysis

On-street Parking Location	Existing On-street Parking	Proposed On-street Parking
Venera Avenue (north/rear frontage)	6	5
San Remo Avenue (south/principle frontage)	13	7
Yumuri Street (east/side frontage)	2	8
Total On-street Parking fronting Project Site	21	20



July 20, 2016

**VIA HAND DELIVERY**

Mr. Ramon Trias  
Planning and Zoning Director  
City of Coral Gables  
405 Biltmore Way  
Coral Gables, FL 33134

**Re: 1500 Venera Avenue and 1515 San Remo Avenue / Art in Public Places /  
Statement for Development Review Committee Application**

Dear Mr. Trias:

Pursuant to Coral Gables Zoning Code Section 3-2103.A.2, and on behalf of Sunset Place Luxury Holdings, LLC, as part of the proposed development at 1500 Venera Avenue / 1515 San Remo Avenue, we propose contributing 1% of the Aggregate Project Value to the Art Acquisition Fund. If you have any questions, please do not hesitate to contact me at (305) 376-6061.

Sincerely,

  
Mario Garcia-Serra

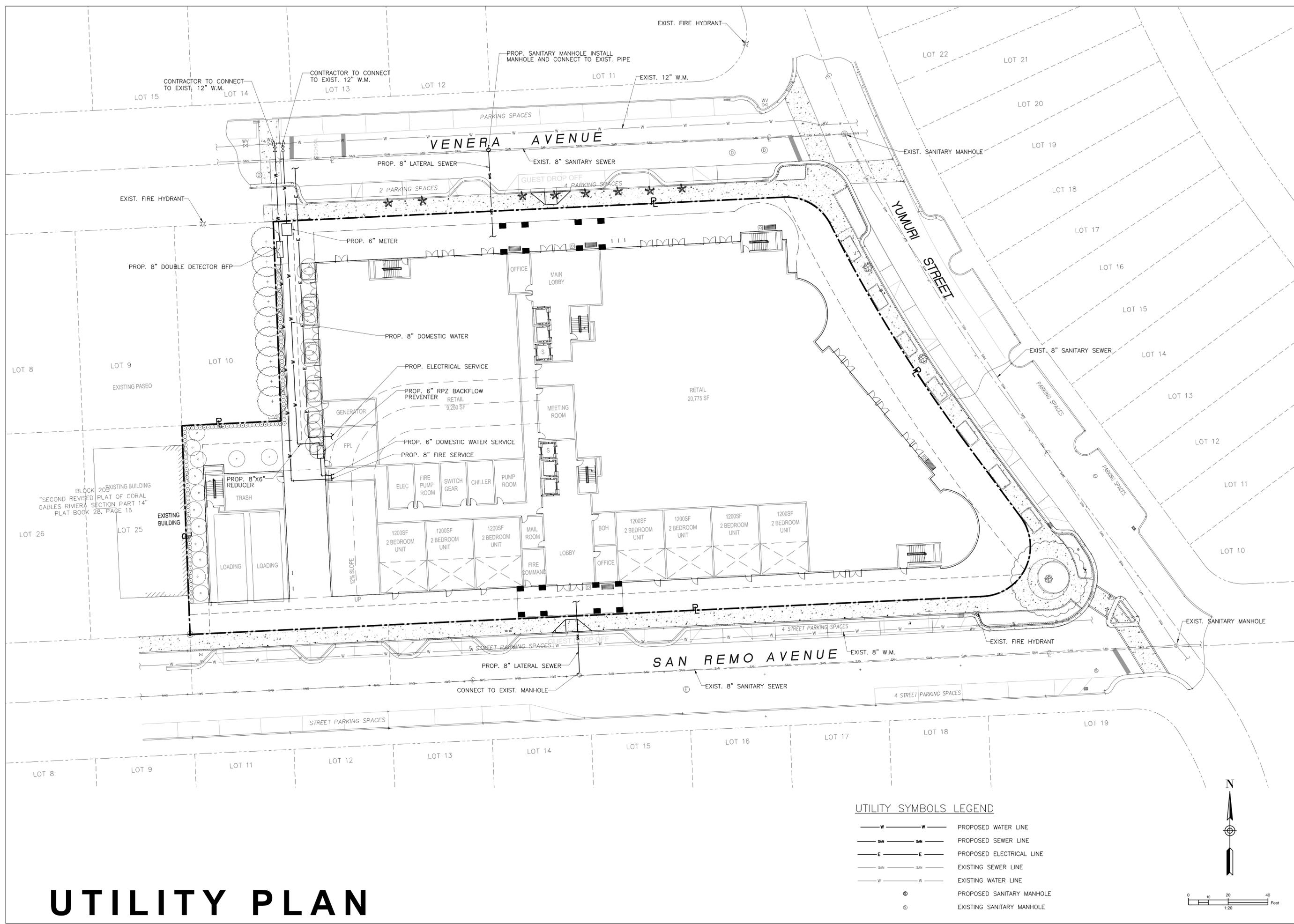
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**VENERA**

1500 VENERA AVE, 33146  
 1515 SAN REMO AVE, 33146

05-19-2016

**C1**



**UTILITY PLAN**

Permit the construction of an addition on the north side of the existing "Food Fair" store building, as shown on submitted plans, provided that any future additions to subject premises will be submitted to the Zoning Board for approval, and provided further, that parking and landscaping shall be provided and maintained on University Drive side of the premises;

located on All of Block 34, "Crafts Section" (3100 Ponce de Leon Boulevard Food Fair Store No. 268).

Motion for its adoption was made by Commissioner Dressel, seconded by Commissioner Evans. Resolution was adopted by the following roll call: "Yeas" - Commissioners Dressel, Evans, Murphy and Wilson; Mayor Searle. "Nays" - None.

Consideration was then given to Item 2066-Z of the Special Meeting of the Zoning Board of April 13, 1962. Present at the meeting was Mr. Solomon, Contractor. After discussion the following resolution was presented and read:

#### RESOLUTION NO. 9341

A RESOLUTION AUTHORIZING AN EXCEPTION TO ORDINANCE NO. 1005, AS AMENDED, AND KNOWN AS THE "ZONING CODE".

BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

That the following exception to the provisions of Ordinance No. 1005, as amended, and known as the "Zoning Code", having been recommended by the Zoning Board at a Special Meeting of April 13, 1962, be and the same hereby is approved:

In connection with the construction of a commercial building permit the following:

1. The building to face on Yumuri Street;
2. (a) A 3' setback shall be provided and maintained on the south side of the proposed building for landscaping purposes;
- (b) The landscaping of the off-street parking area shall be submitted to and approved by the City Manager;
- (c) That a restrictive covenant shall be filed with the City Clerk to the effect that a 20 foot setback shall be provided and maintained along the west lines of Lots 11 and 23 for driveway purposes and tying the property together as one tract so long as the proposed building shall remain upon the property;

all of the above located on Lots 11 to 23, inclusive, Block 203, "Riviera Section Part 14" (West side of Yumuri Street between Avenue Venera and Avenue San Remo).

Motion for its adoption was made by Commissioner Wilson, seconded by Commissioner Evans. Resolution was adopted by the following roll call: "Yeas" - Commissioners Dressel, Evans, Murphy and Wilson; Mayor Searle. "Nays" - None.

The following ordinance was presented and read:

ORDINANCE NO. 1282

AN ORDINANCE AMENDING THE "CODE OF THE CITY OF CORAL GABLES, FLORIDA" IN ARTICLE III "LICENSES, CERTIFICATES OF COMPETENCY, EXAMINATIONS", SECTION 9-15 "EXAMINATIONS; CLASSIFICATIONS"; AND REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH.

which was passed and adopted on first reading on April 10, 1962 was read again in full. Motion for its adoption on second and final reading was made by Commissioner Murphy, seconded by Commissioner Wilson, and the ordinance was adopted by the following roll call: "Yeas" - Commissioners Dressel, Evans, Murphy and Wilson; Mayor Searle. "Nays" - None.

Thereupon Mayor Searle declared the ordinance passed and adopted and ordered its publication as Ordinance No. 1282.

The following resolution was presented and read:

RESOLUTION NO. 9342

A RESOLUTION AUTHORIZING EXECUTION OF A CONTRACT FOR DISPLAY CARD ADVERTISING ON MUNICIPALLY-OWNED BUSES.

BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

That the City Manager and City Clerk be and they hereby are authorized, on behalf of The City of Coral Gables, to execute a contract with PHILBIN & COINE, a partnership, for handling display card advertising space on all municipally-owned buses in accordance with the following terms and conditions, to-wit:

AGREEMENT

THIS AGREEMENT, made this \_\_\_\_\_ day of April, 1962, between THE CITY OF CORAL GABLES, party of the first part, and PHILBIN & COINE, a partnership with office at 406 Clark Building, Jacksonville 2, Florida, and 342 Madison Avenue, New York 17, New York, party of the second part.

WITNESSETH

1. The party of the first part, for itself, its successors and assigns, has let and by these presents does lease and grant unto the party of the second part, its successors and assigns, sole and exclusive available display card advertising space in, upon and about all the buses, now or hereafter owned or controlled by the party of the first part for

ORDINANCE NO. 1395

AN ORDINANCE AMENDING ORDINANCE NO. 1005, AS AMENDED, AND KNOWN AS THE "ZONING CODE", BY DEALING WITH A CHANGE OF ZONING ON LOTS 17 TO 24, INCLUSIVE, BLOCK 203, "RIVIERA SECTION PART 14", CORAL GABLES, FLORIDA; AND REPEALING ALL ORDINANCES OR PARTS OF ORDINANCES IN CONFLICT HEREWITH.

WHEREAS, an application has been made for a change of zoning from CB Commercial Use to Apartment Use to permit the construction of an apartment building, facing Avenue San Remo, on Lots 17 to 24, inclusive, Block 203, and across an easement on the east side of Lot 19 and on the rear (west) on Lots 17 and 18, Block 203, all in "Riviera Section Part 14" at the northwest corner of Avenue San Remo and Yumuri Street, Coral Gables, Florida; and

WHEREAS, after notice of public hearing duly published and notification of all property owners of record within 300', a public hearing was held before the Zoning Board of the City of Coral Gables on March 16, 1964, at which hearing all interested persons were afforded an opportunity to be heard; and

WHEREAS, the Zoning Board at its regular meeting of March 16, 1964 recommended that the change of zoning be approved with certain provisions and limitations;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. That Ordinance No. 1005, as amended, and known as the "Zoning Code", and in particular, that certain Building Content and Area District Map, Plate No. 11 attached to and by reference made a part thereof, be and the same hereby is amended to show a change of zoning on Lots 17 to 24, inclusive, Block 203, "Riviera Section Part 14" from CB Commercial Use to Apartment Use to permit the construction of an apartment building on subject property and across the easement on the east side of Lot 19 and on the rear, or west, on Lots 17 and 18; located on Lots 17 to 24, inclusive, Block 203, "Riviera Section Part 14", Coral Gables, Florida.

SECTION 2. That such apartment building, which is hereby permitted to face on Avenue San Remo, shall be constructed in accordance with the following terms and provisions, to-wit:

- (1) That a ten (10') foot setback shall be required from the rear, or north, property line of subject property.
- (2) That releases of easement of the east side of Lot 19 and on the west, or rear, of Lots 17 and 18, Block 203, shall be first obtained from all utilities companies, i.e. power, telephone, water and gas.
- (3) That, at time of construction, it is required by code to construct a masonry wall between the apartment property and commercial parking on Lots 10 to 16, inclusive, Block 203, then and in that event, it shall be the sole responsibility of the owner of Lots 17 to 24, inclusive, Block 203, "Riviera Section Part 14", to construct such wall at his expense.

SECTION 3. That all ordinances or parts of ordinances in conflict or inconsistent herewith are hereby repealed insofar as there is conflict or inconsistency.

PASSED AND ADOPTED THIS FOURTEENTH DAY OF APRIL, A. D. 1964.

APPROVED:

*W. Keith Phillips, Jr.*  
W. Keith Phillips, Jr.; VICE-MAYOR

ATTEST:

*Loretta V. Sheehy*  
Loretta V. Sheehy, CITY CLERK

## ORDINANCE NO. 1438

AN ORDINANCE AMENDING ORDINANCE NO. 1005, AS AMENDED, AND KNOWN AS THE "ZONING CODE", BY AMENDING SECTION 7.02 THEREOF, ENTITLED: "FACING IN SPECIFIC CASES" AND DEALING WITH A CHANGE OF ZONING ON LOTS 11, 12, 13, 14, 15 AND 16, BLOCK 203, "RIVIERA SECTION PART 14", CORAL GABLES, FLORIDA; AND REPEALING ALL ORDINANCES INCONSISTENT HEREWITH.

WHEREAS, an application has been made for a change of zoning from CB Commercial Use to **A-15** Apartment Use, 3027 square foot floor area, to permit construction of an apartment building to face on Avenue **Venera**; located on Lots 11, 12, 13, 14, 15 and 16, Block 203, "**Riviera** Section Part **14**", SW corner of Avenue **Venera** and **Yumuri** Street, Coral Gables, Florida; and

WHEREAS, after notice of public hearing duly published and notification having been given to all property owners of record within 300 feet, a public hearing was held before the Planning and Zoning Board of the City of Coral Gables on August 31, 1964, at which hearing all persons interested were afforded the opportunity to be heard; and

WHEREAS, the Planning and Zoning Board at its regular meeting of August 31, 1964 recommended that the request for change of zoning and facing be approved;

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

**SECTION 1.** That Ordinance No. 1005, as amended, and known as the "Zoning Code", and, in particular, that certain Building Content and Area District Map, Plate No. 11, attached to and by reference made a part hereof, be and the same is amended to show Lots 11, 12, 13, 14, 15 and 16, Block 203, "Riviera Section Part 14", Coral Gables, Florida, henceforth to be designated as having a change of zoning from CB Commercial Use to **A-15** Apartment Use.

**SECTION 2.** That Section 7.02 of Ordinance No. 1005, as amended, and known as the "Zoning Code", and entitled: "**Facing in Specific Cases**" is hereby amended by adding thereto the following:

In Riviera Section Part 14

Lots 15 and 16, Block 203, "Riviera Section Part 14", shall be deemed to **face** on Avenue **Venera**.

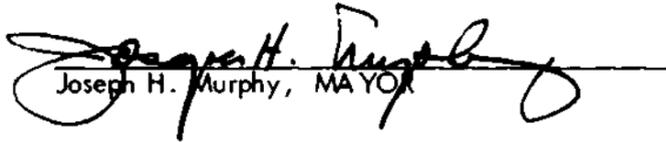
**SECTION 3.** That such change of use and such apartment building, which hereby is permitted to face on Avenue **Venera**, shall be subject to the following terms and conditions:

- (a) A ten (10') foot setback from the south property line of Lots 11 to 16, inclusive, Block 203, "Riviera Section Part 14", shall be maintained.
- (b) A release of the utility easement on the east side of bt 14 and on the rear, or west of Lots 17 and 18 of said block, is obtained from all utilities companies.
- (c) A masonry wall between the apartment property and commercial parking on adjacent property shall be constructed and maintained by the owner of Lots 11 to 16, inclusive, Block 203, "Riviera Section Part 14".

**SECTION 4.** That all ordinances or parts of ordinances in conflict or inconsistent herewith are hereby repealed insofar as there is conflict or inconsistency.

PASSED AND ADOPTED THIS TWENTY-NINTH DAY OF SEPTEMBER, A. D. 1964.

APPROVED:

  
Joseph H. Murphy, MAYOR

ATTEST:

  
Loretta V. Sheehy, CITY CLERK

In "Gables Estates No. Four"

- (1) Lots 4 and 7, Block 'G' ..... 50 feet

In "Hammock Oaks Harbor"

- (1) A minimum rear setback of ten feet **shall** be maintained and required on all lots.

In "Hammock Oaks Harbor Section Two"

- (1) Lots 1 to **12**, inclusive, Block 2 ..... **10** feet  
 (2) Lot 45, Block 3 ..... 25 feet

In "Old Cutler Boy Section One"

- (1) All **lots** in Blocks 1, **2 and 3** ..... 10 feet

In "Riviera Circle"

- (1) Lots 1 and **10**, Block 1 and Lot **1**, Block 2 ..... 10 feet  
 (2) Lots 2, 3, 4, **7**, 8 and 9, Block 1 ..... 15 feet  
 (3) Lots 5 and 6, Block 1 ..... 5 feet  
 (4) Lots 2, 3 and 4, Block 2 ..... 20 feet from Riviera Court

In "Riviera Section Part Two"

- (1) Lot 2, Block 96 ..... 10 feet from the rear (West property line)

In "Riviera Section Part Eight"

- (1) **Tract 'A'** ..... **50 feet (P.B. 46, Page 100)**

In "Riviera Section Part Fourteen"

- (1) Lots **11 to 16**, inclusive, Block 203 ..... 10 feet  
 (2) Lots **17 to 24**, inclusive, Block 203 ..... **10** feet

In "Singer Subdivision No. Two"

- (1) Lots 1 to 8, inclusive, Block 1 ..... 6 feet  
 (2) Tract '**A**' ..... 5 feet from NW lot line  
 (3) Tract '**B**' ..... 10 feet from S line

In "Welbon Subdivision"

- (1) Lots 1 and 30 ..... 10 feet from the S lot line

## SECTION 6.14 SETBACK REQUIREMENTS FOR BUILDINGS FOUR (4) OR MORE STORIES IN HEIGHT.

- (1) "A" Use Districts-General, Special Uses in "A" Use Districts and University of Miami **Dormitories.**

## (a) Front Setback.

1. Twenty feet (**20'**) minimum, provided however, that no point on the front of the building shall project into an imaginary plane **established** by an angle of 60° as **projected** from any point along a center line of the street to the front of the **building**.

## (b) Side setback from inside property line.

1. Ten feet (**10'**) minimum, plus one (1) additional foot setback for the entire building for each three feet (**3'**) of building height above forty-five feet (**45'**).

## (c) Side setback from side to street.

1. Fifteen feet (**15'**) minimum, plus one (1) additional foot setback for the entire building for each three feet (**3'**) of building height above forty-five feet (**45'**).

## (d) Rear Setback.

1. Ten feet (**10'**) minimum plus one (1) additional foot setback for the entire building for each three feet (**3'**) of the building height above forty-five feet (**45'**) where an alley is located at the rear of the site, or twenty feet (**20'**) plus one (1) additional foot setback for the entire building for each three feet (**3'**) of the building height above forty-five feet (**45'**) where there is no alley at the rear of the site.

In "Hammock Oaks Harbor"

- (1) Lots 1 and 7, Block 1 shall be deemed to face North.
- (2) Lot 15, Block 1 shall be deemed to face East.
- (3) Lot 16, Block 1 shall be deemed to face West.

In "Hammock Oaks Harbor Section Two"

- (1) Lot 8, Block 3 shall be deemed to face East.
- (2) Lot 22, Block 3 shall be deemed to face South.
- (3) Lot 45, Block 3 shall be deemed to face North.

In "Old Cutler Boy Section One"

- (1) Lots 1 and 2, Block 1 shall be deemed to face North.
- (2) Lots 13, 14, 17, 18 and 20, Block 2 shall be deemed to face North.
- (3) Lot 21, Block 2 shall be deemed to face Westerly.
- (4) Lots 3 and 4, Block 3 shall be deemed to face Easterly.

In "Riviera Circle"

- (1) Lots 1 and 10, Block 1 and Lot 1, Block 2 shall be deemed to face Riviera Drive.
- (2) Lots 5 and 6, Block 1 shall be deemed to face West.
- (3) Lots 2, 3 and 4, Block 2 shall be deemed to face North.

In "Riviera Section Part Two"

- (1) Lots 1 and 2, Block 96 shall be deemed to face East on LeJeune Road.
- (2) Lots 3 and 4, Block 96 shall be deemed to face South on Avenue Rosaro.
- (3) Lots 1 and 19, Block 104 shall be deemed to face Riviera Drive.
- (4) Lots 1 and 2, Block 37 shall be deemed to face Riviera Drive.
- (5) Lots 36 to 40, inclusive, Block 37 shall be deemed to face Riviera Drive.

In "Riviera Section Part Three"

- (1) Lots 10 and 11, Block 48 shall be deemed to face Orduna Drive.
- (2) Lots 12 to 15, inclusive, Block 48 shall be deemed to face Orduna Drive.
- (3) Lot 26, Block 85 shall be deemed to face Avenue Pisano.
- (4) Lots 1 and 2, Block 88 shall be deemed to face Granada Boulevard.

In "Riviera Section Part Fourteen"

- (1) Lots 15 and 16, Block 203, shall be deemed to face Avenue Venera.
- (2) Lots 17 and 18, Block 203 shall be deemed to face Avenue San Remo.

In "San Juan Estates"

- (1) Lot 6, "San Juan Estates" shall be deemed to face Old Cutler Road.

In "Singer Subdivision No. Two"

- (1) Lot 1, Block 1 shall be deemed to face Avenue Madruga and Turin Street.
- (2) Lot 4, Block 1 shall be deemed to face Turin Street.
- (3) Lots 5 and 8, Block 1 shall be deemed to face Maynada Street.
- (4) Tracts 'A' and 'B' shall be deemed to face Avenue Madruga and Turin Street.

in "Sunrise Harbour"

- (1) Lot 9, Block 2 and Lots 1 and 20, Block 1 shall be deemed to face South.
- (2) Lot 102, Block 2 shall be deemed to face West.

In "Welbon Subdivision"

- (1) Lots 1 and 30 shall be deemed to face Southwest Eighth Street.

## 8. BUILDING SITE REGULATIONS

SECTION 8.01 BUILDING SITES - GENERAL REGULATIONS. Every building or structure hereafter erected, constructed, reconstructed or structurally altered shall be located on a building site as herein defined, and in no case shall there be more than one building or structure on a building site, except as may be provided for herein concerning permitted accessory or subordinate buildings for auxiliary or accessory uses. No building site shall be so reduced or diminished that the yards or other open spaces hereby required shall be smaller than prescribed by this code, nor shall the density of population be increased in any manner except in conformity with the building and building site area regulations herein established.

SECTION 8.02 BUILDING SITES - R, D AND A USES, GENERAL. Except as may be provided hereinafter to the contrary, in connection with replats, subdivisions and specifically described lots or parcels of land, no building or structure designed for an R, D or A Use shall be constructed or erected upon a building site having a street frontage of less than 50 feet; nor shall more than one such building or structure be constructed or erected upon any one platted lot. Except as provided for under Section 8.11 hereof, no replat or subdivision for R, D and A Uses shall be approved where the building sites contain an area less than 10,800 square feet and having a street frontage of less than 100 feet.

## ORDINANCE NO. 2307

AN ORDINANCE AMENDING ORDINANCE NO. 1525, AS AMENDED, AND KNOWN AS THE "ZONING CODE", BY AMENDING SECTION 5.13 THEREOF, ENTITLED, "FLOOR AREA RATIO REQUIREMENTS FOR BUILDINGS FOUR (4) OR MORE STORIES IN HEIGHT", AS IT PERTAINS TO SUB-PARAGRAPH (3), AND BY ADDING SUB-PARAGRAPH (6) THEREOF, DEALING WITH THE FLOOR AREA RATIO OF "C" USE BUILDINGS FOUR (4) THROUGH SIX (6) STORIES IN HEIGHT IN BLOCKS 197, 198, 199, 201, 202, 203, 204 AND 205, RIVIERA SECTION PART 14, AND BY AMENDING SECTION 9.031 THEREOF, ENTITLED, "HEIGHT OF BUILDINGS - SPECIFIC LOCATIONS", AS IT PERTAINS TO SUB-PARAGRAPH (g) 1 AND BY DELETING SUB-PARAGRAPH (i) THEREOF, DEALING WITH THE HEIGHT OF BUILDINGS IN BLOCKS 197, 198, 199, 201, 202, 203, 204 AND 205, RIVIERA SECTION PART 14; AND REPEALING ALL ORDINANCES INCONSISTENT OR IN CONFLICT HEREWITH.

WHEREAS, after notice duly published and notification of all affected property owners of record as determined by the Planning and Zoning Board, a public hearing was held before the Planning and Zoning Board of the City of Coral Gables, Florida on February 26, 1979 at which hearing all interested persons were afforded an opportunity to be heard, and

WHEREAS, the Planning and Zoning Board at said meeting recommended that Sections 5.13 and 9.031 of Ordinance No. 1525, as amended, and known as the "Zoning Code" entitled, "Floor Area Ratio Requirements For Buildings Four (4) Or More Stories In Height" and "Height Of Buildings - Specific Locations", respectively, be amended as to the Floor Area Ratio of "C" use buildings four (4) thru six (6) stories in height and the height of buildings in Blocks 197, 198, 199, 201, 202, 203, 204 and 205, Riviera Section Part 14,

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. That from and after the effective date of this ordinance, sub-paragraph (3) of Section 5.13, entitled, "FLOOR AREA RATIO REQUIREMENTS FOR BUILDINGS FOUR (4) OR MORE STORIES IN HEIGHT" of Ordinance No. 1525, as amended, and known as the "Zoning Code" shall be and the same is hereby amended to read as follows:

- (3) Maximum floor area ratio for "C" and "M" Use Districts, Special Uses in "C" or "M" Use Districts, excluding buildings in Blocks 197, 198, 199, 201, 202, 203, 204 and 205, Riviera Section Part 14, apartments, apartment-hotels and hotels.

HEIGHT OF PRINCIPAL BUILDING IN STORIES	MAXIMUM F.A.R
4 through 13	3.00

In computing the Floor Area Ratio (F.A.R.) for commercial buildings, the site area used for off-street parking shall be included as part of the building site, provided that the off-street parking area commences within five hundred (500) feet of the actual building site and is joined with the building site by a Unity of Title.

SECTION 2. That from and after the effective date of this ordinance, Section 5.13 entitled, "FLOOR AREA RATIO REQUIREMENTS FOR BUILDINGS FOUR (4) OR MORE STORIES IN HEIGHT" of Ordinance No. 1525, as amended, and known as the "Zoning Code" shall be and the same is hereby amended by adding thereto sub-paragraph (6) which shall read as follows:

- (6) Maximum Floor Area Ratio for "C" use buildings four (4) thru six (6) stories in height in Blocks 197, 198, 199, 201, 202, 204, 205 and Lots 1 thru 10, inclusive and Lots 25 thru 34, inclusive, Block 203, Riviera Section Part 14 shall be as follows:

HEIGHT OF PRINCIPAL BUILDING IN STORIES	MAXIMUM F.A.R.
4 through 6, inclusive	1.5

AAA-48

In computing the Floor Area Ratio (F.A.R.), for commercial buildings, the site area used for off-street parking shall be included as part of the building site, provided that the off-street parking area commences within five hundred (500) feet of the actual building site and is joined with the building site by a Unity of Title.

SECTION 3. That from and after the effective date of this ordinance, sub-paragraph (g) of Section 9.031, entitled, "HEIGHT OF BUILDINGS - SPECIFIC LOCATIONS" of Ordinance No. 1525, as amended, and known as the "Zoning Code" shall be and the same is hereby amended to read as follows:

- (g) 1. No building or structure shall be constructed or erected on the following described property to a height exceeding three (3) stories, nor shall such building exceed a height of forty-five (45) feet:

IN SECTION "K"

Lots 1, 2, 3 and 4 in Blocks 8, 9, 18, 19, 26, 27, 35 and 36  
 Lots 45, 46, 47 and 48 in Blocks 8, 9, 18, 19, 26, 27 and 35

IN CRAFTS SECTION

Lots 1, 2, 3 and 4 in Blocks 9, 16 and 17  
 Lots 45, 46, 47 and 48, in Blocks 8, 9, 16 and 17

IN RIVIERA SECTION PART 14

Lots 8 thru 21, Inclusive, Block 192  
 Lots 13 thru 40, Inclusive, Block 196  
 Lots 10 thru 29, Inclusive, Block 206  
 All Lots in Blocks 206A, 207 and 208

2. No apartment building shall be constructed or erected on the following described property to a height exceeding four (4) stories, nor shall such building exceed a height of forty-five (45) feet including penthouses.

IN RIVIERA SECTION PART 14

All Lots in Blocks 201 and 202  
 Lots 3 thru 31, Inclusive, Block 203  
 Lots 4 thru 37, Inclusive, Block 204  
 Lots 4 thru 37, Inclusive, Block 205

3. No commercial building shall be constructed or erected on the following described property to a height exceeding four (4) stories, nor shall such building exceed a height of forty-five (45) feet.

IN RIVIERA SECTION PART 14

All lots in Blocks 201 and 202  
 Lots 3 thru 10, Inclusive and Lots 25 thru 31, Inclusive, Block 203  
 Lots 4 thru 37, Inclusive, Block 204  
 Lots 4 thru 37, Inclusive, Block 205

SECTION 4. That from and after the effective date of this ordinance, sub-paragraph (i) of Section 9.031, entitled, "HEIGHT OF BUILDINGS - SPECIFIC LOCATIONS" of Ordinance No. 1525, as amended and known as the "Zoning Code", shall be and the same is hereby amended by deleting the following:

- (i) IN RIVIERA SECTION PART 14

All Lots and Tracts in Blocks 197, 198 and 199

SECTION 5. That from and after the effective date of this ordinance, Section 9.031 entitled, "HEIGHT OF BUILDINGS - SPECIFIC LOCATIONS" of Ordinance No. 1525, as amended, and known as the "Zoning Code", shall be and the same is hereby amended by adding thereto sub-paragraph (u) which shall read as follows:

- (u) Commercial buildings and/or structures may be erected or altered on the following described property to a height not exceeding six (6) stories nor seventy-two (72) feet -including penthouses, scenery lofts, cabanas, towers, cupolas, steeples and domes; providing, however, that air conditioning equipment rooms, elevator shafts and elevator mechanical equipment rooms may exceed the seventy two (72) foot height:

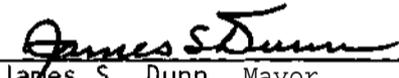
IN RIVIERA SECTION PART 14

All Lots and Tracts in Blocks 197, 198 and 199  
 Lots 1, 2, 32, 33 and 34, Block 203  
 Lots 1, 2, 3, 38, 39 and 40, Block 204  
 Lots 1, 2, 3, 38, 39 and 40, Block 205

SECTION 6. That all ordinances or parts of ordinances inconsistent or in conflict herewith shall be and the same are hereby repealed insofar as there is conflict or inconsistency.

PASSED AND ADOPTED THIS TWENTY-SEVENTH DAY OF MARCH, A. D., 1979.

APPROVED:

  
 James S. Dunn, Mayor

ATTEST:

  
 Virginia G. Paul, City Clerk

AAA748

ORDINANCE NO. 2362

AN ORDINANCE AMENDING ORDINANCE NO. 1525, AS AMENDED, AND KNOWN AS THE "ZONING CODE", BY AMENDING SECTION 5.13 THEREOF, ENTITLED, "FLOOR AREA RATIO REQUIREMENTS FOR BUILDINGS FOUR (4) OR MORE STORIES IN HEIGHT", AS IT PERTAINS TO SUB-PARAGRAPH (3); BY AMENDING SUB-PARAGRAPH (6) THEREOF, BY DELETING THEREFROM BLOCKS 197, 198 AND 199; AND BY ADDING SUB-PARAGRAPH (7) THERETO, DEALING WITH THE FLOOR AREA RATIO OF "C" USE BUILDINGS FOUR (4) STORIES IN HEIGHT IN THE "CALLAHAN TRACT", CERTAIN PROPERTY IN RIVIERA SECTION PARTS 8 AND 14, CERTAIN PROPERTY IN "RIVIERA WATERWAYS" AND "ADDITION TO RIVIERA WATERWAYS"; BY AMENDING SECTION 9.031 THEREOF, ENTITLED, "HEIGHT OF BUILDINGS - SPECIFIC LOCATIONS" BY DEALING WITH THE HEIGHT OF BUILDINGS IN THE "CALLAHAN TRACT", RIVIERA SECTION PARTS 8 AND 14, "RIVIERA WATERWAYS" AND "ADDITION TO RIVIERA WATERWAYS"; AND REPEALING ALL ORDINANCES INCONSISTENT HEREWITH.

BE IT ORDAINED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

SECTION 1. That from and after the effective date of this ordinance, sub-paragraph (3) of Section 5.13, entitled, "FLOOR AREA RATIO REQUIREMENTS FOR BUILDINGS FOUR (4) OR MORE STORIES IN HEIGHT", of Ordinance No. 1525, as amended, and known as the "Zoning Code", shall be and it is hereby amended to read as follows:

- (3) Maximum floor area ratio for "C: and "M" Use Districts, Special Uses in "C" or "M" Use Districts, excluding buildings in Blocks 197, 198, 199, 201, 202, 203, 204 and 205, Riviera Section Part 14, that portion of the Callahan Tract bounded on the North by South Dixie Highway, on the East by Turin Street, on the South by Avenue Madruga and on the West by Mariposa Court, Lots 1 thru 13, Inclusive, Block 148; Lots 1, 17, 26 and 27 in Block 155, Lots 27, 28, 29, 30 and 31 in Block 156, and Tract "A", Riviera Section Part 8; Lots 1 and 2, Block 5 and Lots 1, 2, 3 and 4, Block 6, Riviera Waterways; and Tract "K" Addition to Riviera Waterways, apartments, apartment-hotels and hotels.

HEIGHT OF PRINCIPAL BUILDING IN STORIES	MAXIMUM F. A. R.
4 THRU 13	3.00

In computing the Floor Area Ratio (F.A.R.) for commercial buildings, the site area used for off-street parking shall be included as part of the building site, provided that the off-street parking area commences within five hundred (500) feet of the actual building site and is joined with the building site by a Unity of Title.

SECTION 2. That from and after the effective date of this ordinance, sub-paragraph (6) of Section 5.13, entitled, "FLOOR AREA RATIO REQUIREMENTS FOR BUILDINGS FOUR (4) OR MORE STORIES IN HEIGHT", of Ordinance No. 1525, as amended, and known as the "Zoning Code", shall be and it is hereby amended to read as follows:

- (6) Maximum floor area ratio for "C" use buildings four (4) thru six (6) stories in height in Blocks 201, 202, 204, 205 and Lots 1 thru 10, Inclusive and Lots 25 thru 34, Inclusive, Block 203, Riviera Section Part 14 shall read as follows:

HEIGHT OF PRINCIPAL BUILDING IN STORIES	MAXIMUM F. A. R.
4 thru 6	1.5

In computing the Floor Area Ratio (F.A.R.) for -commercial buildings, the site area used for off-street parking shall be included as part of the building site, provided that the off-street parking area commences within five hundred (500) feet of the actual building site and is joined with the building site by a Unity of Title.

SECTION 3. That from and after the effective date of this ordinance, Section 5.13 entitled, "FLOOR AREA RATIO REQUIREMENTS FOR BUILDINGS FOUR (4) OR MORE STORIES IN HEIGHT", of Ordinance No. 1525, as amended, and known as the "Zoning Code", shall be and it is hereby amended by adding thereto sub-paragraph (7) which shall read as follows:

- (7) Maximum Floor Area Ratio for "C" use buildings four (4) stories in height located on the following described property.

IN CALLAHAN TRACT

That portion of the Callahan Tract bounded on the North by South Dixie Highway, on the East by Turin Street, on the South by Avenue Madruga and on the West by Mariposa Court.

IN RIVIERA SECTION PART 8

Lots 1 thru 13, Inclusive, Block 148  
Lots 1, 17, 26 and 27 in Block 155  
Lots 27, 28, 29, 30 and 31 in Block 156  
Tract "A"

IN RIVIERA SECTION PART 14

All lots and tracts in Blocks 197, 198 and 199

IN RIVIERA WATERWAYS

Lots 1 and 2 . . . . in Block 5  
Lots 1, 2, 3 and 4 in Block 6

IN ADDITION TO RIVIERA WATERWAYS

Tract "K"

shall not exceed the following:

HEIGHT OF PRINCIPAL BUILDING IN STORIES	MAXIMUM F. A. R.
4	1.5

In computing the Floor Area Ratio (F.A.R.) for commercial buildings, the site area used for off-street parking shall be included as part of the building site, provided that the off-street parking area commences within five hundred (500) feet of the actual building site and is joined with the building site by a Unity of Title.

SECTION 4. That from and after the effective date of this ordinance, sub-paragraphs (g) (2) and (3) of Section 9.031, entitled, "HEIGHT OF BUILDINGS - SPECIFIC LOCATIONS", of Ordinance No. 1525, as amended, and known as the "Zoning Code", shall be and they are hereby amended to read as follows

- (g) 2 No apartment building shall be constructed or erected on the following described property to a height exceeding four (4) stories, nor shall such building exceed a height of forty-five (45) feet including penthouses.

IN RIVIERA SECTION PART 14

All lots and tracts in Blocks 197, 198 and 199  
All lots in Blocks 201 and 202  
Lots 3 thru 31, Inclusive, Block 203  
Lots 4 thru 37, Inclusive, Block 204  
Lots 4 thru 37, Inclusive, Block 205

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## IN RIVIERA WATERWAYS

Lots 1 and 2 . . . . in Block 5

## IN ADDITION TO RIVIERA WATERWAYS

Tract "K"

- (3) No commercial building shall be constructed or erected on the following described property to a height exceeding four (4) stories, nor shall such building exceed a height of forty-five (45) feet.

## IN CALLAHAN TRACT

That portion of the Callahan Tract bounded on the North by South Dixie Highway, on the East by Turin Street, on the South by Avenue Madrugá and on the West by Mariposa Court.

## IN RIVIERA SECTION PART 8

Lots 1 thru 13, Inclusive, Block 148  
 Lots 1, 17, 26 and 27 in Block 155  
 Lots 27, 28, 29, 30 and 31 in Block 156  
 Tract "A"

## IN RIVIERA SECTION PART 14

All lots and tracts in Block 197, 198 and 199  
 All lots in Block 201 and 202  
 Lots 3 thru 10, Inclusive and Lots 25 thru 31,  
 Inclusive, Block 203  
 Lots 4 thru 37, Inclusive, Block 204  
 Lots 4 thru 37, Inclusive, Block 205

## IN RIVIERA WATERWAYS

Lots 1 and 2 . . . . in Block 5  
 Lots 1, 2, 3 and 4 in Block 6

## IN ADDITION TO RIVIERA WATERWAYS

Tract "K"

SECTION 5. That from and after the effective date of this ordinance, sub-paragraph (h) of Section 9.031, entitled, "HEIGHT OF BUILDINGS - SPECIFIC LOCATIONS", of Ordinance No. 1525, as amended, and known as the "Zoning Code", shall be and it is hereby amended to read as follows:

- (h) Apartment buildings and/or structures may be erected or altered to a height not **exceeding** six (6) stories nor seventy (70) feet including penthouses, scenery lofts, cabanas, towers, cupolas, steeples and domes on the following described property to-wit:

## IN BILTMORE SECTION

Lots 3 thru 15, Inclusive, in Block 11  
 Lots 1, 2, 3 and 4 . . . . in Block 12  
 Lots 1 thru 19, Inclusive, in Block 13

## IN DOUGLAS SECTION

Lots 1 thru 8, Inclusive, in Block 1  
 Lots 1 thru 6, Inclusive, in Block 10  
 Lots 8, 9 and 10 . . . . in Block 10  
 Lots 1 thru 10, Inclusive, in Block 18  
 Lot "A" between Blocks 10 and 18  
 Lot "B" between Blocks 1 and 10  
 Lot "C" between Blocks 18 and 27

Lots 1 thru 5, **Inclusive**, in Block 27  
Lots 7, 8, 9 and 10 in **Block 27**  
Lots 1 thru 5, **Inclusive**, in Block **34**  
Lots 7 thru 12, **Inclusive**, in Block **34**

IN SECTION "K"

Lots 1 thru **24**, **Inclusive**, in Block 1

SECTION 6. That all ordinances or parts of ordinances inconsistent or in conflict herewith shall be and the same are hereby repealed insofar as there is conflict or **inconsistency**.

PASSED AND ADOPTED **THIS SEVENTEENTH DAY OF DECEMBER, A. D., 1980.**

APPROVED:

*James S. Dunn*  
**JAMES S. DUNN**  
**MAYOR**

ATTEST:  
*Virginia L. Paul*  
**VIRGINIA L. PAUL**  
**CITY CLERK**

PERI ZANELLI  
DEPUTY CITY CLERK

AAA748

That the following exceptions to the provisions of Ordinance No. 1005, as amended, and known as the "Zoning Code", having been recommended by the Planning and Zoning Board at its regular meeting of June 21, 1965, be and the same hereby are approved, to-wit:

(2734-Z)

Grant renewal of Resolution No. 10722, passed and adopted July 14, 1964, permitting the continuation of operation of a rental agency and automotive vehicle repair shop on subject premises occupied by Henderson's Portion Pak; said agency and repair shop located in the rear of the building, having no street frontage, and used solely for leasing and repair of motor vehicles to Henderson's Portion Pak, on a year-to-year basis, subject to renewal provided no complaints are received; located on Lots 17 and 18, Block 1, "Industrial Section", rear portion of 4120 Laguna Street, Coral Gables, Florida.

(2735-Z)

In connection with alterations to an existing family residence on subject property, permit the following:

- (a) Construction of a flat roof without a parapet between San Vicente Street and the residence building;
- (b) Installation of an outside door to an existing family room;

all of the above located on Lot 4, Block 267, "Riviera Section Part Eleven", 6710 LeJeune Road, Coral Gables, Florida.

(2746-Z)

In connection with construction of a detached garage, permit the garage to have a side setback from the West property line of two (2') feet, six (6") inches instead of five (5') feet as required by the Zoning Code; located on Lot 23, Block 2, "Section B", 433 Avenue Navarre, Coral Gables, Florida.

Motion for its adoption was made by Commissioner Phillips, seconded by Commissioner Murphy. Resolution was adopted by the following roll call: "Yeas" - Commissioners Chapman, Murphy, Phillips and Wilson; Mayor Dressel. "Nays" - None.

The following resolution was presented and read:

RESOLUTION NO. 11500

A RESOLUTION AUTHORIZING EXCEPTIONS TO ORDINANCE NO. 1005, AS AMENDED, AND KNOWN AS THE "ZONING CODE".

BE IT RESOLVED BY THE COMMISSION OF THE CITY OF CORAL GABLES:

That the following exceptions to the provisions of Ordinance No. 1005, as amended, and known as the "Zoning Code", having been recommended by the Planning and Zoning Board at its regular meeting of July 6, 1965, be and the same hereby are approved, to-wit:

(2752-Z)

Permit installation of a ten (10') foot high chain link fence to be used as a backstop for a tennis court on subject property/said chain link fence extending across both court ends and running along both sides for a distance of twenty (20') feet from the corners, as shown on submitted sketch, provided the backstop is landscaped; located on Lots 5 and 6, Block 'B', "Gables Estates No. Two", 555 Leucadendra Drive, Coral Gables, Florida.

(2758-Z)

Permit offstreet parking for a proposed apartment building located on subject premises, having spaces eight (8') feet wide and a minimum of twenty-two (22') feet maneuvering area as originally designed in accordance with Ordinance No. 1389; located on Lots 17 to 24, inclusive, Block 203, "Riviera Section Part Fourteen", Northwest corner of Avenue San Remo and Yumuri Street, Coral Gables, Florida.

CC3422

Motion for its adoption was made by Commissioner Murphy, seconded by Commissioner

Phillips. Resolution was adopted by the following roll call: "Yeas" - Commissioners Chapman, Murphy, Phillips and Wilson; Mayor Dressel. "Nays" - None.

Present at the meeting at this time was Mr. Lee Lincoln who had offered to exchange property at the "Prado Entrance", described as Blocks 74 and 75, "Granada Section", for property of equal size located at the Kendall Soil Pit, which he stated he wished to use as a recreational center for the handicapped, but now withdrew the offer because of previous negotiations.

Present at this time was Mr. H. A. Prebianca, to request that the use of Lot 7, Block 17, "Crafts Section" revert to its former CC Use in order to make it rentable and useful. The following ordinance was presented and read:

ORDINANCE

AN ORDINANCE REPEALING ORDINANCE NO. 1444, PASSED AND ADOPTED BY THE CITY OF CORAL GABLES ON NOVEMBER 24, 1964:

upon first reading. Motion for its adoption was made by Commissioner Phillips, seconded by Commissioner Murphy. Ordinance was adopted on first reading by the following roll call:

"Yeas" - Commissioners Chapman, Murphy, Phillips and Wilson; Mayor Dressel. "Nays" - None.

**CITY OF CORAL GABLES, FLORIDA**

**RESOLUTION NO. 2014-255**

A RESOLUTION OF THE CITY COMMISSION OF CORAL GABLES, FLORIDA REQUESTING MIXED USE SITE PLAN REVIEW PURSUANT TO ZONING CODE ARTICLE 4, "ZONING DISTRICTS", DIVISION 2, "OVERLAY AND SPECIAL PURPOSE DISTRICTS", SECTION 4-201, "MIXED USE DISTRICT (MXD)", FOR THE MIXED USE PROJECT REFERRED TO AS "SHOMA PARK TOWER" ON THE PROPERTY LEGALLY DESCRIBED AS LOTS 11-16, BLOCK 203, RIVIERA SECTION PART 14 (1500 VENERA AVENUE), CORAL GABLES, FLORIDA; INCLUDING REQUIRED CONDITIONS; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, an Application was submitted requesting mixed use site plan review for the mixed use project referred to as "Shoma Park Tower" on the property legally described as Lots 11-16, Block 203, Riviera Section Part 14 (1500 Venera Avenue), Coral Gables, Florida; and

**WHEREAS**, the Application requires City of Coral Gables mixed use site plan review and public hearing consideration pursuant to the Zoning Code Mixed Use District (MXD) provisions and applicable Comprehensive Plan Mixed Use District (MXD) provisions; and

**WHEREAS**, the proposed mixed use site plan for the project referred to as "Shoma Park Tower" is being submitted concurrently with a proposed change of zoning from Multi-Family 2 District (MF2) to Commercial District (C) and change of land use from "Residential Multi-Family Medium Density" to "Commercial Mid-Rise Intensity", and

**WHEREAS**, Staff finds that the criteria for reviewing and recommending on a proposed mixed use site plan are provided in Zoning Code Article 4, "Zoning Districts", Division 2, "Overlay and Special Purpose Districts", Section 4-201, "Mixed Use District (MXD)", and that the proposed mixed use site plan referred to as "Shoma Park Tower" has met those standards; and

**WHEREAS**, after notice of public hearing duly published and courtesy notifications of all property owners of record within one-thousand (1000) feet, a public hearing was held before the Planning and Zoning Board of the City of Coral Gables on October 8, 2014, at which hearing all interested persons were afforded the opportunity to be heard; and

**WHEREAS**, at the Planning and Zoning Board's October 8, 2014 meeting, the Board recommended approval of the proposed "Shoma Park Tower" mixed use site plan (vote: 6-1) subject to conditions of approval; and

**WHEREAS**, the City Commission on October 28, 2014, approved the proposed change of land use (vote: 5-0) and change of zoning (vote: 5-0) submitted concurrently with the mixed use site plan on first reading; and

**WHEREAS**, after notice of public hearing was duly published, a public hearing was held before the City Commission on November 18, 2014, at which hearing this item was presented and all interested persons were afforded the opportunity to be heard; and

**WHEREAS**, public hearings have been completed as indicated herein by the Coral Gables City Commission in consideration of a request for mixed use site plan review as required by the Zoning Code, and including careful consideration of written and oral comments by members of the public;

**NOW, THEREFORE, BE IT RESOLVED BY THE CITY COMMISSION OF THE CITY OF CORAL GABLES THAT:**

**SECTION 1.** The foregoing “WHEREAS” clauses are hereby ratified and confirmed as being true and correct and are hereby made a specific part of the Resolution upon adoption hereof.

**SECTION 2.** The proposed mixed use site plan review for the mixed use project referred to as “Shoma Park Tower” on the property legally described as Lots 11-16, Block 203, Riviera Section Part 14 (1500 Venera Avenue), Coral Gables, Florida, shall be and is hereby approved subject to all of the following conditions:

1. Application/supporting documentation. Construction of the proposed project shall be in substantial conformance with all of the following:
  - a. Applicant’s Planning and Zoning Board submittal package dated 10.08.14, prepared by Behar Font & Partners, P.A.
  - b. Traffic Impact Study, dated August 2014 prepared by David Plummer and Associates.
  - c. All representations proffered by the Applicant’s representatives as a part of the review of the Application at public hearings.
2. Restrictive covenant. Within thirty (30) days of City Commission approval of the Application, the Applicant, property owner(s), its successors or assigns shall submit a restrictive covenant for City Attorney review and approval outlining all conditions of approval as approved by the City Commission. Failure to submit the draft restrictive covenant within the specified time frame shall render the approval void unless said time frame for submittal of the draft restrictive covenant is extended by the City Attorney after good cause as to why the time frame should be extended.
3. Prior to the issuance of a City Building Permit for the project, the Applicant, property owner(s), its successors or assigns, shall satisfy the following conditions:
  - a. On-street parking. Payment shall be provided by Applicant, its successors or assigns according to established City requirements for the loss of any on-street parking space as a result of the project.
  - b. Construction information/contact. Provide written notice to all properties within five hundred (500) feet of the Shoma Park Tower project (1500 Venera Avenue), providing a specific liaison/contact person for the project including the contact name, contact telephone number and email, to allow communication between adjacent neighbors or interested parties of construction activities, project status, potential concerns, etc.
  - c. Comply with all City requirements for Art in Public Places, which will include either a contribution to the Art in Public Places Fund, or having the proposed artist and public art concept be reviewed by the Arts Advisory Panel and Cultural Development Board, and Board of Architects approval before being submitted to the City Commission. The Applicant’s compliance with all requirements

of the Art in Public Places program shall be coordinated by the Director of Economic Sustainability.

4. Written notice. Provide a minimum of seventy-two (72) hour written notice to all properties within five hundred (500) feet of the Shoma Park Tower project (1500 Venera Avenue) boundaries of any proposed partial street/alley closures as a result of the project's construction activity. Complete street/alley closure shall be prohibited.
5. Prior to the issuance of a Certificate of Occupancy (CO) for the project, the Applicant, property owner, its successors or assigns shall complete the following:
  - a. Right-of-way and public realm improvements. Installation of all right-of-way improvements and all landscaping, public realm and streetscape improvements identified on the Applicant's approved plans, subject to review and approval by the Directors of Public Works, Public Service and Planning and Zoning. Any changes to and departures from the right-of-way and public realm improvements identified on the Applicant's approved plans and associated detail plans and specifications via the permitting process shall be subject to review and approval by Directors of Public Works, Public Service, Planning & Zoning and Parking.
  - b. Undergrounding of overhead utilities. In accordance with Zoning Code Article 4 "Zoning Districts", more specifically, Section 4-201, "Mixed use District (MXD)," and Article 4, "Zoning Districts," Table 1, sub-section L, "Utilities", the Applicant shall submit all necessary plans and documents, and shall complete the undergrounding of all overhead utilities along all public rights-of-way surrounding and abutting the project boundary, subject to review and approval by the Directors of Public Works, Public Service and Planning & Zoning.
6. Applicant agrees, subject to the consent and cooperation of the neighboring property owner(s) at 6705 Red Road, to consolidate the pedestrian walkway it is proposing for the western end of its property with the existing pedestrian walkway located at the eastern end of the property at 6705 Red Road with all improvements being installed, and work done, at Applicant's expense. If such consolidated walkway is not feasible or consented to, then the Applicant agrees to provide a 5 foot wide pedestrian walkway at the western end of its property.

**SECTION 3.** That the applicant shall further be required to comply with all applicable zoning regulations and any changes to the application herein granted shall require a recommendation from the Planning and Zoning Board and approval by the City Commission.

**SECTION 4.** This development permit by the City of Coral Gables does not in any way create any right on the part of an applicant to obtain a permit from a county, state or federal agency. Likewise, this development permit does not create any liability on the part of the City of Coral Gables for issuance of the permit if the applicant fails to obtain requisite approvals or fulfill the obligations imposed by a county, state or federal agency, or if the applicant undertakes actions that result in a violation of county, state or federal law. In addition, as a condition of this approval, all county, state and federal permits must be obtained before commencement of the development.

**SECTION 5.** That this Resolution shall become effective upon the date of its adoption herein.

PASSED AND ADOPTED THIS EIGHTEENTH DAY OF NOVEMBER, A.D., 2014.  
(Moved: Quesada / Seconded: Lago)  
(Yeas: Lago, Quesada, Keon, Kerdyk, Cason)  
(Unanimous: 5-0 Vote)  
(Agenda Item: E-9)

APPROVED:



JIM CASON  
MAYOR

ATTEST:



WALTER J. FOEMAN  
CITY CLERK

APPROVED AS TO FORM  
AND LEGAL SUFFICIENCY:



CRAIG E. LEEN  
CITY ATTORNEY



Historical Resources &  
Cultural Arts

2327 SALZEDO STREET  
CORAL GABLES  
FLORIDA 33134

☎ 305.460.5093

✉ hist@coralgables.com

July 25, 2016

Sunset Place Luxury Holdings, LLC  
3470 NW 82<sup>nd</sup> Avenue, Suite 988  
Doral, FL 33122

Re: 1515 San Remo Avenue, legally described as Lots 17 Thru 24, Block 203, Coral Gables Riviera Section 14, 2<sup>nd</sup> REV, according to the plat thereof as recorded in Plat Book 28 Page 32 of the public records of Miami-Dade County

Dear Sirs:

Section 3-1107(g) of the Coral Gables Zoning Code states that “All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for six (6) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within sixty (60) days from the Historic Preservation Officer determination of “eligibility.” Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments.”

Therefore, please be advised that after careful research and study of our records and the information you presented the following information has been determined:

**1515 San Remo Avenue, legally described as Lots 17 Thru 24, Block 203, Coral Gables Riviera Section 14, 2<sup>nd</sup> REV, according to the plat thereof as recorded in Plat Book 28 Page 32 of the public records of Miami-Dade County, does not meet the minimum eligibility criteria for designation as a local historic landmark.**

**Therefore, the Historical Resources staff will not require review by the Historic Preservation Board if an application is made for a demolition permit.**

Please note that, pursuant to Section 2-705(b)(15) of the Coral Gables Zoning Code, this determination does not constitute a development order and is valid for a period of six (6) months. In the case where the Historic Preservation Officer or designee determines that the property does not meet the minimum eligibility criteria for designation, a permit for the demolition of the property must be issued within the six-month period.

Upon expiration of the six-month period, you will be required to file a new application. Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,



Dona M. Spain  
Historic Preservation Officer

cc: Mario Garcia-Serra, Esq., 600 Brickell Avenue, Suite 3500, Miami, FL 33131  
Craig Leen, City Attorney  
Miriam S. Ramos, Deputy City Attorney  
Charles Wu, Assistant Development Services Director  
Ramon Trias, Planning & Zoning Director  
William Miner, Building Director  
Virginia Goizueta, Plans Processor Lead  
Historical Significance Request Property File



Historical Resources &  
Cultural Arts

2327 SALZEDO STREET  
CORAL GABLES  
FLORIDA 33134

☎ 305.460.5093  
✉ hist@coralgables.com

August 1, 2016

Sunset Place Luxury Holdings, LLC  
3470 NW 82<sup>nd</sup> Avenue, Suite 988  
Doral, FL 33122

Re: 1500 Venera Avenue, legally described as Lots 11 Thru 16 INC, Block 203, Coral Gables Riviera Section 14, 2<sup>nd</sup> REV, according to the plat thereof as recorded in Plat Book 28 Page 32 of the public records of Miami-Dade County

Dear Sirs:

Section 3-1107(g) of the Coral Gables Zoning Code states that “All demolition permits for non-designated buildings and/or structures must be approved by the Historic Preservation Officer or designee. The approval is valid for six (6) months from issuance and shall thereafter expire and the approval is deemed void unless the demolition permit has been issued by the Development Services Department. The Historic Preservation Officer may require review by the Historic Preservation Board if the building and/or structure to be demolished is eligible for designation as a local historic landmark or as a contributing building, structure or property within an existing local historic landmark district. This determination of eligibility is preliminary in nature and the final public hearing before the Historic Preservation Board on Local Historic Designation shall be within sixty (60) days from the Historic Preservation Officer determination of “eligibility.” Consideration by the Board may be deferred by mutual agreement by the property owner and the Historic Preservation Officer. The Historic Preservation Officer may require the filing of a written application on the forms prepared by the Department and may request additional background information to assist the Board in its consideration of eligibility. Independent analysis by a consultant selected by the City may be required to assist in the review of the application. All fees associated with the analysis shall be the responsibility of the applicant. The types of reviews that could be conducted may include but are not limited to the following: property appraisals; archeological assessments; and historic assessments.”

Therefore, please be advised that after careful research and study of our records and the information you presented the following information has been determined:

**1500 Venera Avenue, legally described as Lots 11 Thru 16 INC, Block 203, Coral Gables Riviera Section 14, 2<sup>nd</sup> REV, according to the plat thereof as recorded in Plat Book 28 Page 32 of the public records of Miami-Dade County, does not meet the minimum eligibility criteria for designation as a local historic landmark. Therefore, the Historical Resources staff will not require review by**

**the Historic Preservation Board if an application is made for a demolition permit.**

This letter is a reissue of the previous letter dated June 3, 2014. Please note that, pursuant to Section 2-705(b)(15) of the Coral Gables Zoning Code, this determination does not constitute a development order and is valid for a period of six (6) months. In the case where the Historic Preservation Officer or designee determines that the property does not meet the minimum eligibility criteria for designation, a permit for the demolition of the property must be issued within the six-month period.

Upon expiration of the six-month period, you will be required to file a new application. Any change from the foregoing may be made upon a demonstration of a change in the material facts upon which this determination was made.

If you have any further questions concerning this matter, please do not hesitate to contact this office.

Sincerely,

A handwritten signature in blue ink that reads "Dona M. Spain". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Dona M. Spain  
Historic Preservation Officer

cc: Mario Garcia-Serra, Esq., 600 Brickell Avenue, Suite 3500, Miami, FL 33131  
Craig Leen, City Attorney  
Miriam S. Ramos, Deputy City Attorney  
Charles Wu, Assistant Development Services Director  
Ramon Trias, Planning & Zoning Director  
William Miner, Building Director  
Virginia Goizueta, Plans Processor Lead  
Historical Significance Request Property File



## CITY OF CORAL GABLES CONCURRENCY APPLICATION

AN APPLICATION FEE OF \$190.31 WILL BE CHARGED WITH THE COMPLETION OF THIS APPLICATION

### PROPOSED PROJECT INFORMATION:

APPLICANT: Raul Carreras  
DEVELOPMENT NAME: 1500 Venera / 1515 San Remo  
SITE ADDRESS: 1515 San Remo Avenue, Coral Gables,  
FL 33146  
FOLIO: 03-4130-033-0001 / 03-4130-009-1040

### CONCURRENCY REVIEW REQUESTED:

(PLEASE CHECK ONE BELOW)

INFORMATIONAL

IMPACT ANALYSIS

### ASSOCIATED DEVELOPMENT ORDER:

DEVELOPMENT ORDER/PROCESSING NUMBER: \_\_\_\_\_

### PROPOSED LAND USES:

#### RESIDENTIAL

SINGLE FAMILY NUMBER OF UNITS: \_\_\_\_\_

TOWNHOUSES NUMBER OF UNITS: \_\_\_\_\_

MULTI-FAMILY NUMBER OF UNITS: 172 dwelling units

**PROPOSED LAND USES:**

**COMMERCIAL**

SERVICE STATION NUMBER OF PUMPS: \_\_\_\_\_

SUPERMARKET 1,000 S.F. GFA: \_\_\_\_\_

DISCOUNT STORE 1,000 S.F. GFA: \_\_\_\_\_

DISCOUNT STORE W/SUPERMARKET 1,000 S.F. GFA: \_\_\_\_\_

GENERAL RETAIL OR DEPT. STORE 1,000 S.F. GFA: 30,025 SF

AUTO SUPPLY 1,000 S.F. GFA: \_\_\_\_\_

NEW CAR DEALER 1,000 S.F. GFA: \_\_\_\_\_

CONVENIENCE STORE 1,000 S.F. GFA: \_\_\_\_\_

**SHOPPING CENTER**

½ TO 1 MILLION SQ. FT. 1,000 S.F. GFA: \_\_\_\_\_

100 TO 500 THOUSAND SQ. FT. 1,000 S.F. GFA: \_\_\_\_\_

LESS THAN 100,000 SQ. FT. 1,000 S.F. GFA: \_\_\_\_\_

CENTRAL AREA HIGH DENSITY 1,000 S.F. GFA: \_\_\_\_\_

GENERAL MFG. WAREHOUSE 1,000 S.F. GFA: \_\_\_\_\_

PLUS NUMBER OF BAYS: \_\_\_\_\_

RESEARCH/DEVELOPMENT 1,000 S.F. GFA: \_\_\_\_\_

INDUSTRIAL PARK 1,000 S.F. GFA: \_\_\_\_\_

GENERAL LIGHT INDUSTRY 1,000 S.F. GFA: \_\_\_\_\_

ALL INDUSTRY AVERAGE OFFICES 1,000 S.F. GFA: \_\_\_\_\_

GENERAL OFFICE 1,000 S.F. GFA: \_\_\_\_\_

MEDICAL OFFICE 1,000 S.F. GFA: \_\_\_\_\_

PROFESSIONAL OFFICE 1,000 S.F. GFA: \_\_\_\_\_

CIVIC CENTER 1,000 S.F. GFA: \_\_\_\_\_

RESEARCH CENTER 1,000 S.F. GFA: \_\_\_\_\_

#### RESTAURANTS

QUALITY 1,000 S.F. GFA: \_\_\_\_\_

OTHER SIT-DOWN 1,000 S.F. GFA: \_\_\_\_\_

FAST FOOD 1,000 S.F. GFA: \_\_\_\_\_

NUMBER OF SEATS: \_\_\_\_\_

BANKS 1,000 S.F. GFA: \_\_\_\_\_

#### HOSPITALS

GENERAL NUMBERS OF BEDS: \_\_\_\_\_

CHILDREN NUMBER OF BEDS: \_\_\_\_\_

CONVALESCENT NUMBER OF BEDS: \_\_\_\_\_

UNIVERSITY NUMBER OF BEDS: \_\_\_\_\_

VETERANS NUMBER OF BEDS: \_\_\_\_\_

NURSING HOME NUMBER OF BEDS: \_\_\_\_\_

CLINICS NUMBER OF BEDS: \_\_\_\_\_

#### EDUCATIONAL

ALL NUMBER OF STUDENTS: \_\_\_\_\_

4-YEAR UNIVERSITY NUMBER OF STUDENTS: \_\_\_\_\_

JR. COLLEGE NUMBER OF STUDENTS: \_\_\_\_\_

EDUCATIONAL (CONTINUES)

SECONDARY SCHOOL NUMBER OF STUDENTS: \_\_\_\_\_

ELEMENTARY SCHOOL NUMBER OF STUDENTS: \_\_\_\_\_

COMBINED ELEM./SEC. NUMBER OF STUDENTS: \_\_\_\_\_

LIBRARY NUMBER OF STAFF: \_\_\_\_\_

MOTEL/HOTEL

HOTEL NUMBERS OF ROOMS: \_\_\_\_\_

MOTEL NUMBER OF ROOMS: \_\_\_\_\_

RESORT HOTEL NUMBER OF ROOMS: \_\_\_\_\_



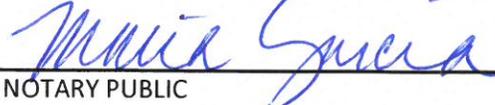
**City of Coral Gables**  
**Development Services Department**  
**Public School Concurrency**

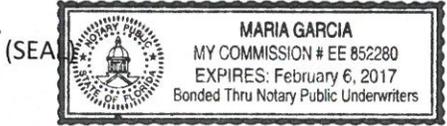
<b>Application Information</b>	
Application Type:*	
Application Sub-type:	
Application Name:*	1500 Venera / 1515 San Remo
Telephone number:*	(786) 470-3823
E-mail address: *	rcarreras@bermelloajamil.com
Project address:*	1500 Venera Ave., Coral Gables, FL
<b>Contact Information</b>	
Contact Information	Raul Carreras
Telephone number:*	(786) 470-3823
E-mail address: *	rcarreras@bermelloajamil.com
Local Government Name:	City of Coral Gables
Local Government Telephone Number:	305-460-5235
Local Government E-mail:	<a href="mailto:Schoolconcurrency@coralgables.com">Schoolconcurrency@coralgables.com</a>
Local Government Application Number:	(OFFICE USE ONLY)
<b>Property Details</b>	
Master Parcel/Folio Number:*(No dashes)	0341300091040
Additional Parcel/Folio Numbers: (Separate by a comma ,)	0341300330001
Total Acreage:*	1.66 acres
Previous Use.	Multifamily Residential
<b>Total Number of Existing Units:</b>	88 dwelling units
Demolition Permit#: _____ Date: _____	
Proposed Use:	mixed-use (multifamily residential & ground floor retail)
Single Family Detached Increase in Units:*	
Single Family Attached Increase in Units:*	
Multi-Family Attached Increase in Units:*	84 dwelling units
<b>Total Number of Units increased:*</b>	84 dwelling units

  
 Owner/Architec/Contractor Name (Please circle one)

STATE OF FLORIDA  
 COUNTY OF MIAMI-DADE

The foregoing was acknowledge before me this 2 day of 8, 2016, by Maria Garcia  
 is personally known to me,  
 has produced a \_\_\_\_\_ as identification.

  
 NOTARY PUBLIC



## Venera Traffic Analysis Methodology

August 25, 2016

DPA will undertake a Traffic Impact Analysis as required by the City of Coral Gables. The analyses are for the existing conditions, future conditions with committed development, and the future conditions with project and committed developments.

The site is located on the east side of Yumuri Street between Venera and San Remo Avenues in Coral Gables, FL.

**Existing Site:** Villa San Remo (47 Condo Units) and 1500 Venera (40 Apartments)

**Proposed Plan:** 172 residential units

The methodology is outlined below:

- Traffic Counts (Intersections) – Two-hour turning movement counts will be collected for the AM (7-9 AM) and PM (4-6 PM) hours on a typical weekday at the following intersections:
    - SW 57<sup>th</sup> Avenue (Red Road) / San Remo Avenue (S)
    - SW 57<sup>th</sup> Avenue (Red Road) / Madruga Avenue (U)
    - Madruga Avenue / Yumuri Street (U)
    - Venera Avenue / Yumuri Street (U)
    - Sunset Drive / Yumuri Street (S)
    - San Remo Avenue / Yumuri Street (U)
    - San Remo Avenue / Nervia Street (U)
    - Sunset Drive / Nervia Street (U)
- S= Signalized  
U=Un-signalized
- Signal Location and Timing – Existing signal phasing and timing for the signalized intersection will be obtained from Miami-Dade County.
  - Trip Generation – project trips will be estimated using trip generation information published by the Institute of Transportation Engineers (ITE) Trip Generation Manual, 9<sup>th</sup> Edition.

- Trip Distribution / Trip Assignment – Net new external project traffic will be assigned to the adjacent street network using the appropriate cardinal distribution from the Miami-Dade Long Range Transportation Plan Update, published by the Metropolitan Planning Organization. Normal traffic patterns will also be considered when assigning project trips.
- Background Traffic - Available Florida Department of Transportation (FDOT) and Miami-Dade County (MDC) counts will be consulted to determine a growth factor consistent with historical annual growth in the area. The growth factor will be applied to the existing traffic volumes to establish background traffic
- Future Transportation Projects – The 2016 TIP and the 2040 LRTP will be reviewed and considered in the analysis at project build-out.
- Committed Developments – Committed developments will be provided by the city.
- Intersection analysis will be done using Highway Capacity Software (HCS) based on the 2010 Highway Capacity Manual (HCM) or the Synchro software. Operation analysis at driveways providing access to/from the site will also be conducted.
- Multimodal Considerations - Pedestrian, bicycle and transit facilities will be defined in a Circulation Plan. Existing bus and mass transit routes including schedule and bus stop locations will be discussed as part of the study.

### **QUEUING ANALYSIS**

If a gated parking entrance is proposed, a queuing analysis will be required. The potential queue will be calculated based on the peak hour traffic published by ITE's Trip Generation, 9<sup>th</sup> Edition. The project trip generation for the PM peak hour (the critical inbound hour) will be used for the analysis. The processing time will be determined based on data provided by the gate manufacture. Data collected and processing time calculation will be included in the study.

w:\16\16216\methodology.docx

**From:** [Senespleda, Yamilet](#)  
**To:** [Juan Espinosa](#)  
**Cc:** [Hickman, Lina](#)  
**Subject:** RE: Venera - 16216  
**Date:** Monday, August 29, 2016 2:27:42 PM

---

Juan,

The traffic impact study methodology for the 1500 Venera project is acceptable to the City.

Thanks,

**Yamilet A. Senespleda, P.E., PTOE, ENV SP**  
**City Engineer/Senior Traffic Engineer**  
City of Coral Gables  
Public Works Department  
2800 SW 72nd Avenue, Miami, Florida 33155  
Office: (305) 460-5034  
Fax: (305) 460-5080  
[ysenespleda@coralgables.com](mailto:ysenespleda@coralgables.com)

---

**From:** Juan Espinosa [mailto:Juan.Espinosa@dplummer.com]  
**Sent:** Thursday, August 25, 2016 10:51 AM  
**To:** Senespleda, Yamilet  
**Cc:** Sarah Fiol  
**Subject:** Venera - 16216

Yamilet,

Attached for your review and approval is the proposed traffic study methodology for the Venera project. Please let us know if you have any questions.

Regards,

**Juan Espinosa, PE**

Vice President - Transportation

**DAVID PLUMMER & ASSOCIATES**

Transportation • Civil • Structural • Environmental

1750 Ponce de Leon Boulevard

Coral Gables, Florida 33134

Phone: 305-447-0900

[www.dplummer.com](http://www.dplummer.com)

Please Note: Florida has a very broad Public Records Law. Most written communications to or from State and Local Officials regarding State or Local business are public records available to the public and media upon request. Your email communications may therefore be subject to public disclosure.

## Directory of Applicant's Representatives

**Applicant:** **Anibal Duarte-Viera**  
3470 Northwest 82<sup>nd</sup> Avenue  
Suite 988  
Doral, Florida 33122  
(786) 437-8560  
Anibal@tcoa.us

**Architect:** **Raul Carreras**  
**Bermello Ajamil & Partners, Inc.**  
2601 South Bayshore Drive, Suite 1000  
Miami, FL 33133  
(305) 859-2050  
RCarreras@bermelloajamil.com

**Legal:** **Mario J. Garcia-Serra**  
**Gunster**  
Brickell World Plaza  
600 Brickell Avenue, Suite 3500  
Miami, FL 33131  
(305) 376-6061  
Mgarcia-serra@gunster.com

**Traffic Engineer:** **Timothy J. Plummer**  
**David Plummer & Associates**  
1750 Ponce de Leon Boulevard  
Coral Gables, Florida 33134  
(305) 447-0900  
tim.plummer@dplummer.com

**Landscape Architect:** **Kirk Olney**  
**Bermello Ajamil & Partners, Inc.**  
2601 South Bayshore Drive, Suite 1000  
Miami, FL 33133  
(305) 859-2050  
KOlney@bermelloajamil.com

**Civil Engineer:** **Maria Zapata**  
**Bermello Ajamil & Partners, Inc.**  
2601 South Bayshore Drive, Suite 1000  
Miami, FL 33133  
(305) 859-2050  
MZapata@bermelloajamil.com



CITY OF CORAL GABLES  
RECEIVED BY THE  
OFFICE OF THE CLERK

**CITY OF CORAL GABLES  
LOBBYIST  
ISSUE APPLICATION**

2016 JUL 26 PM 12: 07

**REGISTRATION #:** \_\_\_\_\_

**HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?**

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board, Committee Members, or any City Official or staff.

**FOR THIS PURPOSE:** To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

**IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.**

Print Your Name Raul Carreras  
LOBBYIST

Print Your Business Name Bermello Ajamil & Partners, Inc.

Business Telephone Number 786-470-3823

Business Address 2601 S. Bayshore Drive, 10th Floor, Miami, FL 33133  
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

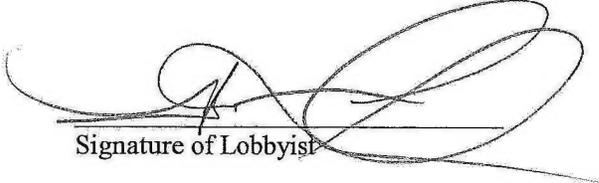
Principal Name: Sunset Place Luxury Holdings, LLC

Principal Address: 3470 NW 82nd Ave., Ste 988, Doral, FL 33122 Telephone Number: 305-471-4802

**ISSUE:** Describe in detail, including address, if applicable, of the specific issue on which you will lobby: **(Separate Application is required for each specific issue)**

Land use and zoning issues for property located at 1515 San Remo Avenue, Coral Gables, FL,  
specifically to appear before the City's Boards and attend meetings with City staff and elected officials on  
behalf of Sunset Place Luxury Holdings, LLC.

I Raul Carreras hereby swear or affirm under penalty of per-  
Print Name of Lobbyist  
jury that all the facts contained in this Application are true and that I am aware  
that these requirements are in compliance with the provisions of the City of Coral  
Gables Ordinance No. 2006-11, governing Lobbying.

  
Signature of Lobbyist

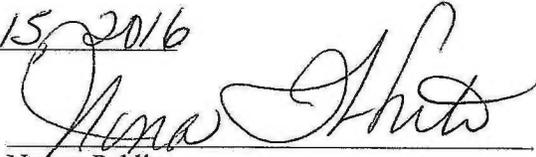
7/15/2016  
Date

STATE OF FLORIDA    )  
                                  )  
COUNTY OF DADE    )

BEFORE ME personally appeared Raul Carreras to me well known and known to me to be the person  
described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said in-  
strument for the purposes therein expressed.

WITNESS my Hand and Official Seal this July 15, 2016

Personally Known  
 Produced ID

  
Notary Public  
State of Florida



<b>For Office Use Only</b>	
Data Entry Date: _____, 20____.	Entered By: _____

Annual Fees Waived for Not-for-Profit Organization. Please attach documentary proof.



CITY OF CORAL GABLES  
RECEIVED BY THE  
OFFICE OF THE CLERK

2016 JUL 26 PM 12:08

**CITY OF CORAL GABLES  
LOBBYIST ANNUAL REGISTRATION APPLICATION  
FOR EACH PRINCIPAL REPRESENTED**

REGISTRATION #: \_\_\_\_\_

**HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?**

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

**FOR THIS PURPOSE:** To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

**IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:**

Print Your Name Raul Carreras  
LOBBYIST

Print Your Business Name, if applicable Bermello Ajamil & Partners, Inc.

Business Telephone Number 786-470-3823

Business Address 2601 S. Bayshore Drive, 10th Floor, Miami, Florida 33133  
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 59-1722486

State the extent of any business or professional relationship you have with any current member of the City Commission.

None

**PRINCIPAL REPRESENTED:**

NAME Sunset Place Luxury Holdings, LLC COMPANY NAME, , IF APPLICABLE \_\_\_\_\_

BUSINESS ADDRESS 3470 NW 82nd Ave., Ste. 988, Doral, FL 33122 TELEPHONE NO.: 305-471-4802

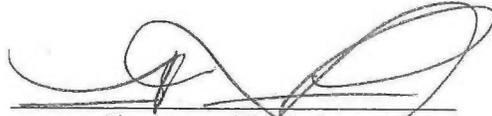
**ANNUAL REPORT:** On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is required to be filed even if there were no expenditures.

**LOBBYIST ISSUE APPLICATION:** Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

**NOTICE OF WITHDRAWAL:** If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

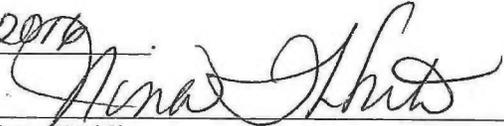
**ANNUAL LOBBYIST REGISTRATION FEE:** This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$150.00 Lobbyist Registration Fee is required.

I Raul Carreras hereby swear or affirm under penalty of perjury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$150.00 Annual Lobbyist Registration Fee.

  
Signature of Lobbyist

STATE OF FLORIDA )  
                                  )  
COUNTY OF DADE )

BEFORE ME personally appeared Raul Carreras to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this July 15, 2016  


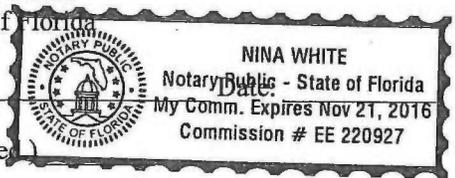
Personally Known  
 Produced ID

Notary Public  
State of Florida

\$150.00 Fee Paid

Fee Waived for Not-for-Profit Organizations (documentary proof attached)

Received By S. Da Costa  
7/26/16



**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_. Entered By: \_\_\_\_\_



CITY OF CORAL GABLES  
RECEIVED BY THE  
OFFICE OF THE CLERK

2016 JUL 26 PM 12:06

**CITY OF CORAL GABLES**  
**LOBBYIST ANNUAL REGISTRATION APPLICATION**  
**FOR EACH PRINCIPAL REPRESENTED**

REGISTRATION #: \_\_\_\_\_

HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

**FOR THIS PURPOSE:** To encourage the approval, disapproval, adoption, repeal, passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of the City Commission, any Board, Committee or City Official.

IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:

Print Your Name Willy A. Bermello  
LOBBYIST

Print Your Business Name, if applicable Bermello Ajamil & Partners, Inc.

Business Telephone Number 786-470-3823

Business Address 2601 S. Bayshore Drive, 10th Floor, Miami, Florida 33133  
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 59-1722486

State the extent of any business or professional relationship you have with any current member of the City Commission.

None

**PRINCIPAL REPRESENTED:**

NAME Sunset Place Luxury Holdings, LLC COMPANY NAME, , IF APPLICABLE \_\_\_\_\_

BUSINESS ADDRESS 3470 NW 82nd Ave., Ste 988, TELEPHONE NO.: 305-471-4802  
Doral, FL 33122

**ANNUAL REPORT:** On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is required to be filed even if there were no expenditures.

**LOBBYIST ISSUE APPLICATION:** Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

**NOTICE OF WITHDRAWAL:** If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

**ANNUAL LOBBYIST REGISTRATION FEE:** This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$150.00 Lobbyist Registration Fee is required.

I Willy A. Bermello hereby swear or affirm under penalty of per-  
jury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$150.00 Annual Lobbyist Registration Fee.

Willy A. Bermello  
Signature of Lobbyist

STATE OF FLORIDA )  
COUNTY OF DADE )

BEFORE ME personally appeared William A. Bermello to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 20/JULY/2016.  
Nina White  
Notary Public  
State of Florida

Personally Known  
 Produced ID



\$150.00 Fee Paid

Received By S. Da Costa Date: 7/26/16

Fee Waived for Not-for-Profit Organizations (documentary proof attached.) \_\_\_\_\_

**For Office Use Only**

Data Entry Date: \_\_\_\_\_, 20\_\_\_\_. Entered By: \_\_\_\_\_



CITY OF CORAL GABLES  
RECEIVED BY THE  
OFFICE OF THE CLERK

2016 JUL 26 PM 12:06

**CITY OF CORAL GABLES  
LOBBYIST  
ISSUE APPLICATION**

REGISTRATION #: \_\_\_\_\_

**HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?**

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board, Committee Members, or any City Official or staff.

**FOR THIS PURPOSE:** To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

**IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.**

Print Your Name Willy A. Bermello  
LOBBYIST

Print Your Business Name Bermello Ajamil & Partners, Inc.

Business Telephone Number 786-470-3823

Business Address 2601 S. Bayshore Drive, 10th Floor, Miami, FL 33133  
ADDRESS CITY, STATE ZIP CODE

Corporation, Partnership, or Trust Represented:

Principal Name: Sunset Place Luxury Holdings, LLC

Principal Address: 3470 NW 82nd Ave., Ste 988, Doral, FL 33122 Telephone Number: 305-471-4802

**ISSUE:** Describe in detail, including address, if applicable, of the specific issue on which you will lobby: **(Separate Application is required for each specific issue)**

Land use and zoning issues for property located at 1515 San Remo Avenue, Coral Gables, FL,  
specifically to appear before the City's Boards and attend meetings with City staff and elected officials  
on behalf of Sunset Place Luxury Holdings, LLC.

I Willy A. Bermello hereby swear or affirm under penalty of per-  
Print Name of Lobbyist  
jury that all the facts contained in this Application are true and that I am aware  
that these requirements are in compliance with the provisions of the City of Coral  
Gables Ordinance No. 2006-11, governing Lobbying.

Willy A. Bermello  
Signature of Lobbyist

\_\_\_\_\_  
Date

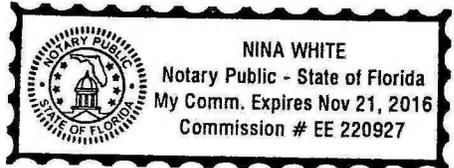
STATE OF FLORIDA    )  
                                  )  
COUNTY OF DADE    )

BEFORE ME personally appeared Willy A. Bermello to me well known and known to me to be the person  
described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said in-  
strument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 20/July/2016.

Personally Known  
 Produced ID

Nina White  
Notary Public  
State of Florida



<b>For Office Use Only</b>	
Data Entry Date: _____, 20____.	Entered By: _____

Annual Fees Waived for Not-for-Profit Organization. Please attach documentary proof.



**CITY OF CORAL GABLES  
LOBBYIST ANNUAL REGISTRATION APPLICATION  
FOR EACH PRINCIPAL REPRESENTED**

**REGISTRATION #:** \_\_\_\_\_

**HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?**

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors Board, Committee Members, or any other City Official or staff.

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**IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST:**

2016 JUL 13 PM 3:54  
CITY OF CORAL GABLES  
RECEIVED AT THE  
OFFICE OF THE CLERK

Print Your Name Mario Garcia-Serra  
LOBBYIST

Print Your Business Name, if applicable Gunster, Yoakley & Stewart, P.A.

Business Telephone Number 305-376-6016

Business Address 600 Brickell Avenue, Suite 3500, Miami, Florida 33131  
ADDRESS CITY, STATE ZIP CODE

Federal ID#: 59-1450702

State the extent of any business or professional relationship you have with any current member of the City Commission.  
None

**PRINCIPAL REPRESENTED:**

NAME Sunset Place Luxury Holdings, LLC COMPANY NAME, , IF APPLICABLE \_\_\_\_\_

BUSINESS ADDRESS 3470 NW 82nd Ave., Ste. 988, Doral, Fl 33122 TELEPHONE NO.: 305-471-4802

**ANNUAL REPORT:** On October 1st of each year, you are required to submit to the City Clerk a signed statement under oath listing all lobbying expenditures in excess of \$25.00 for the preceding calendar year. A statement is required to be filed even if there were no expenditures.

**LOBBYIST ISSUE APPLICATION:** Prior to lobbying for a specific issue, you are required to fill out a Lobbyist Issue Application form with the Office of the City Clerk; stating under oath, your name, business address, the name of each principal who employed you to lobby, and the specific issue on which you wish to lobby.

**NOTICE OF WITHDRAWAL:** If you discontinue representing a particular client, a notice of withdrawal is required to be filed with the City Clerk.

**ANNUAL LOBBYIST REGISTRATION FEE:** This Registration must be on file in the Office of the City Clerk prior to The filing of an Issue Application to lobby on a specific issue, and payment of a \$150.00 Lobbyist Registration Fee is required.

I Mario Garcia-Serra hereby swear or affirm under penalty of per-  
jury that I have read the provisions of the City of Coral Gables Ordinance 2006-11, governing Lobbying and that all of the facts contained in this Registration Application are true and that I agree to pay the \$150.00 Annual Lobbyist Registration Fee.

Mario Garcia-Serra  
Signature of Lobbyist

CITY OF CORAL GABLES  
RECEIVED AT THE  
OFFICE OF THE CLERK  
2016 JUL 13 PM 3:54

STATE OF FLORIDA )  
                                  )  
COUNTY OF DADE )

BEFORE ME personally appeared Mario Garcia-Serra to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 7th day of July, 2016

Personally Known

Produced ID

\$150.00 Fee Paid

Fee Waived for Not-for-Profit Organizations (documentary proof attached.)



[Signature]  
Notary Public  
State of Florida

Received By [Signature] Date: 7/13/16

**For Office Use Only**  
Data Entry Date: \_\_\_\_\_, 20\_\_\_\_ Entered By: \_\_\_\_\_



**CITY OF CORAL GABLES  
LOBBYIST  
ISSUE APPLICATION**

REGISTRATION #: \_\_\_\_\_

**HAVE YOU BEEN RETAINED TO LOBBY ANY OF THE FOLLOWING FOR THE STATED PURPOSE?**

**CITY OFFICIALS:** Mayor, City Commissioners, City Attorney, City Manager, City Clerk, Assistant City Manager, Special Assistant to City Manager, Heads or Directors of Departments, and their Assistant or Deputy, Police Major or Chief, Fire Major or Chief, Building and Zoning Inspectors, Board, Committee Members, or any City Official or staff.

**FOR THIS PURPOSE:** To encourage the passage, defeat or modification of any ordinance, resolution, action or decision of the City Commission; or any action, decision or recommendation of any Board, Committee or City Official.

**IF THE FOREGOING APPLIES TO YOU, YOU ARE REQUIRED TO REGISTER AS A LOBBYIST AND TO FILE THE FOLLOWING INFORMATION, UNDER OATH, WITH THE CITY CLERK FOR EACH ISSUE ADDRESSED. ISSUE FEE: NO CHARGE, PROVIDING YOU HAVE A CURRENT ANNUAL LOBBYIST REGISTRATION DOCUMENT ON FILE.**

Print Your Name	<u>Mario Garcia-Serra</u>
	LOBBYIST
Print Your Business Name	<u>Gunster, Yoakley &amp; Stewart, P.A.</u>
Business Telephone Number	<u>305-376-6061</u>
Business Address	<u>600 Brickell Avenue, #3500, Miami, Florida 33131</u>
	ADDRESS CITY, STATE ZIP CODE

CORAL GABLES  
CITY CLERK  
13 PM 3:54

Corporation, Partnership, or Trust Represented:

Principal Name: Sunset Place Luxury Holdings, LLC

Principal Address: 3470 NW 82nd Avenue, Suite 988, Doral, FL 33122 Telephone Number: 305-471-4802

**ISSUE:** Describe in detail, including address, if applicable, of the specific issue on which you will lobby: **(Separate Application is required for each specific issue)**

Land use and zoning issues for property located at 1515 San Remo Avenue, Coral Gables, FL, specifically  
to appear before the City's Boards and attend meetings with City staff and elected officials on behalf of  
Sunset Place Luxury Holdings, LLC.

I Mario Garcia-Serra hereby swear or affirm under penalty of per-  
Print Name of Lobbyist  
jury that all the facts contained in this Application are true and that I am aware  
that these requirements are in compliance with the provisions of the City of Coral  
Gables Ordinance No. 2006-11, governing Lobbying.

*Mario Garcia-Serra*  
Signature of Lobbyist

July 7, 2016  
Date

STATE OF FLORIDA     )  
  )  
COUNTY OF DADE     )

BEFORE ME personally appeared Mario Garcia-Serra to me well known and known to me to be the person described in and who executed the foregoing instrument, and acknowledged to and before me that he/she executed said instrument for the purposes therein expressed.

WITNESS my Hand and Official Seal this 7th day of July, 2016

X Personally Known  
       Produced ID



*[Signature]*

Notary Public  
State of Florida

2016 JUL 13 PM 3:54  
CITY OF CORAL GABLES  
RECEIVED BY THE  
OFFICE OF THE CLERK

<b>For Office Use Only</b>	
Data Entry Date: _____, 20____.	Entered By: _____

Annual Fees Waived for Not-for-Profit Organization. Please attach documentary proof.



CFN 2013R0994527  
DR Bk 28959 Pgs 1495 - 1496; (2pgs)  
RECORDED 12/19/2013 14:29:04  
DEED DOC TAX 33,900.00  
SURTAX 25,425.00  
HARVEY RUVIN, CLERK OF COURT  
MIAMI-DADE COUNTY, FLORIDA

## WARRANTY DEED

THIS INDENTURE made this 25<sup>th</sup> day of November, 2013, between **CHATEAU RIVIERA, INC., a Florida corporation**, party of the first part, whose address is 37 Flints Grove Drive, North Potomac, Maryland, 20878, and **SUNSET PLACE LUXURY HOLDINGS, LLC, a Delaware limited liability company** party of the second part, whose address is 3470 NW 82<sup>nd</sup> Avenue, Suite 988, Doral, Florida 33122.

**WITNESSETH:** That the said party of the first part, for and in consideration of the sum of Ten Dollars and other valuable considerations to it in hand paid by the said party of the second part, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said party of the second part, its heirs and assigns forever, the following described land, situated, lying and being in the County of Miami-Dade, State of Florida, together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To have and to hold, the same in fee simple forever.

And the party of the first part hereby covenants with the party of the second part that the party of the first part is lawfully seized of said land in fee simple; that the party of the first part has good right and lawful authority to sell and convey said land; that the party of the first part hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31<sup>st</sup>, 2013.

**Lots 11 through 16 inclusive, Block 203, of CORAL GABLES RIVIERA SECTION PART 14, 2<sup>nd</sup> REVISION, according to the Plat thereof as recorded in Plat Book 28, Page 32, of the Public Records of Miami-Dade County, Florida.  
a/k/a: 1500 Venera Avenue, Coral Gables, Florida, 33146.  
Folio: 03-4130-009-1040**

This conveyance is made subject to the following:

- a) Real Estate taxes for 2014 and subsequent years;
- b) Tenants in Possession;
- c) Zoning and other Restrictions common to the subdivision, without reimposing same.

IN WITNESS WHEREOF, the said party has hereunto set its hand and seal the day and  
year first above written.

  
WITNESS  
print name: Melissa Hawthorne

William David Anagnano  
WITNESS  
print name: William David Anagnano

Vicki Sobel Margolis  
CHATEAU RIVIERA, INC., a Florida  
corporation  
By: VICKI SOBEL MARGOLIS, President



STATE OF MARYLAND)  
COUNTY OF MONTGOMERY)

The foregoing instrument was acknowledged before me this 25<sup>th</sup> day of November, 2013, VICKI SOBEL MARGOLIS, President of CHATEAU RIVIERA, INC., a Florida corporation, who is personally known to me or who has produced the following Maryland Drivers License as identification

  
NOTARY PUBLIC  
Print Name: Melissa Hawthorne

This instrument prepared by:  
M. Jeffrey St. George, Esquire  
ST. GEORGE & TEJERA P.A.  
1735 Ponce De Leon Blvd.  
Coral Gables, Florida 33134  
Tel.: (305) 444-9330

Warranty Deeds for each of the units at 1515 San Remo Avenue are available upon request.